

DEVELOPMENT COMMITTEE
 ATTACHMENT 1 OF 2 TO ITEM: DV18.92



City of Stirling



The Town of Cambridge does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that the Town of Cambridge shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information.

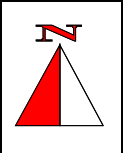
Lot 703 (No. 21) Perina Way, City Beach
 Two Storey Dwelling
 1:2517





The Town of Cambridge does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that the Town of Cambridge shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information.

Lot 703 (No. 21) Perina Way, City Beach
Two Storey Dwelling
1:629















§
→

1DQU-213

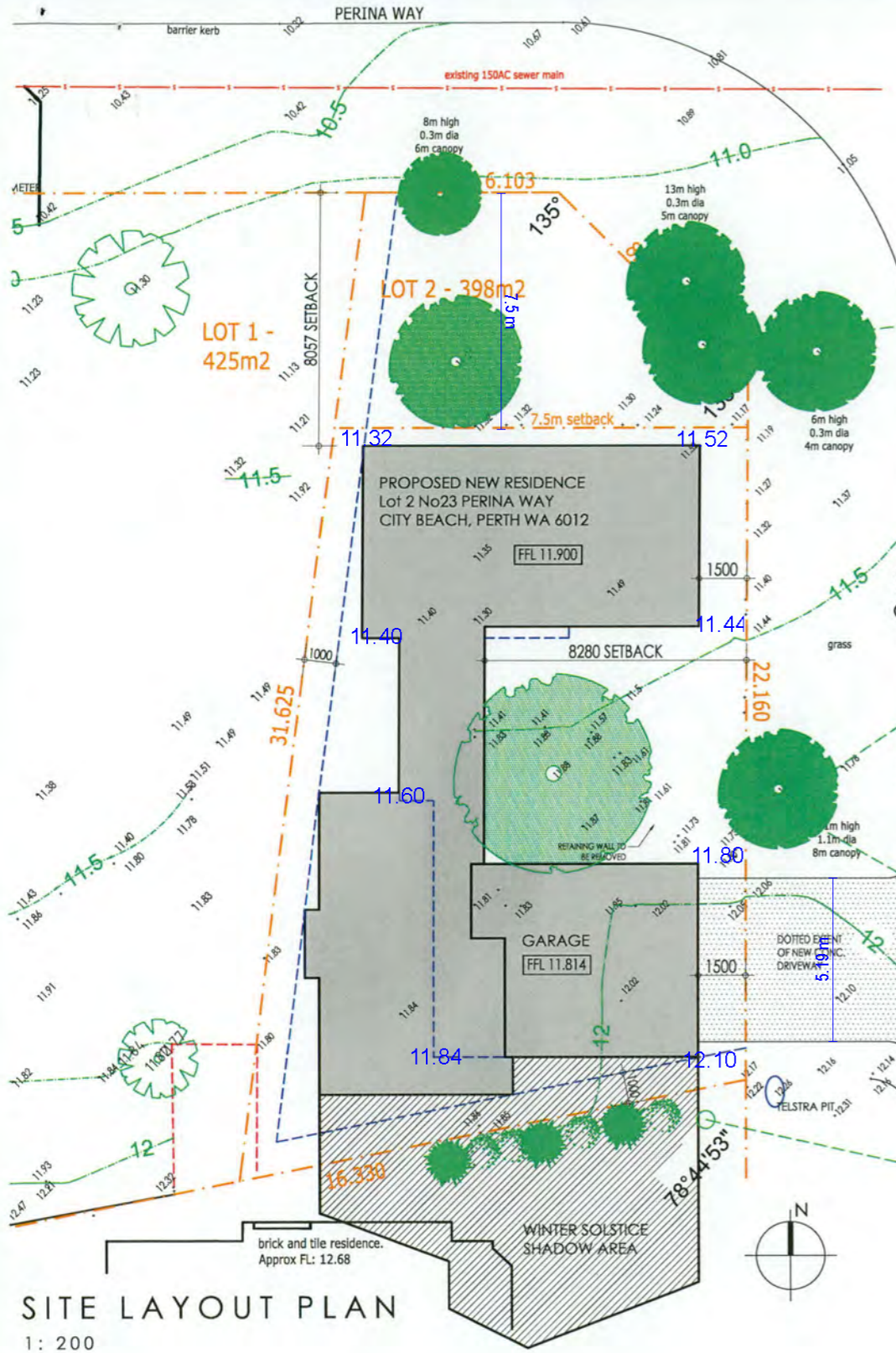


S
→

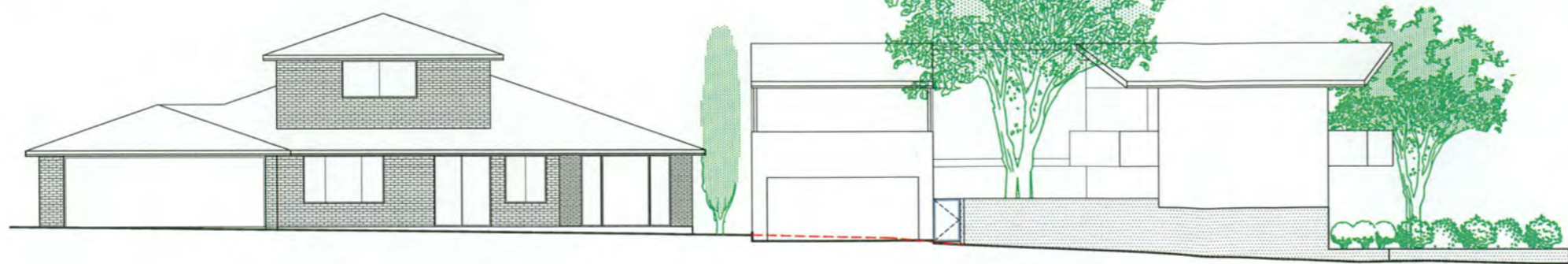
WESTERN AUSTRALIA
1DQU-213







SITE LAYOUT PLAN
1: 200



STREETSCAPE (EAST) ELEVATION
1: 200



3 CORNER TREES RETAINED



EAST VERGE AND CENTRAL COURTYARD TREE RETAINED



EAST VERGE AND CENTRAL COURTYARD TREE



LINE OF NEIGHBOURING BUSHES

GROUND FLOOR AREA	129m ²
GARAGE AREA	40m ²
UPPER FLOOR AREA	132m ²
AREA OF SITE	398 m ²
<u>OPEN AREA CALCULATION</u>	
TOTAL FOOTPRINT	169m ²
TOTAL SITE AREA	398m ²
58% OPEN SPACE	
TOTAL AREA OF WINTER SOLSTICE SHADOW ON NEIGHBOURING RESIDENCES	- 62m ²
AREA OF NEIGHBOURING SITE LOT 78 PERINA WAY ±760 m ²	
AREA OF WINTER SOLSTICE SHADOW ON NEIGHBOURING RESIDENCES	- 8.2%

PROPOSED NEW RESIDENCE: No. 23 PERINA WAY CITY BEACH

Variation to the required street setbacks:

Analysis of the proposed site

The site is bestowed with some substantial mature trees that are to be retained and form an important driver of the design.

In particular the central courtyard is designed around a major tree.

As set out in the Town of Cambridge Town Planning Scheme No.1 and specifically Clause 20, the required setback is for 7.5 metres from the Primary Street and 3.75 metres from the Secondary Street.

The Zoning for the great majority of City Beach is R12.5

The Zoning for this section of City Beach is uniquely, the higher density of R20, which is somewhat of an anomaly for City Beach.

Therefore the site area is smaller than most of City Beach.

This particular site is 398m²

Whilst the setbacks stipulated in Clause 20, makes sense for larger properties, it most certainly causes design restrictions for smaller properties such as this subject property.

Analysis of the proposed dwelling:

The front, Primary Street setback as designed is 8.000 metres, with a minor upper level balcony projecting to a point to a 6.0 metre setback. The house is indeed 0.5, metres setback further than required.

The side setback, Secondary Street, is designed with a minimum of 1.5 metres for two 6 metre long walls.

A major portion of the building is setback 8.3 metres. This variation in setback creates a very large garden courtyard, specifically designed to retain the existing tree.

The house is in its self a modest size thereby securing large areas of land for garden.

The overriding premise of the Town Planning Scheme on street setbacks is to maintain the garden suburb typology, of large gardens set around houses on large individual sites.

This site by virtue of its zoning is smaller than typical, however considered and appropriate design has facilitated a house that upholds all aspect of the garden suburb ideals.

Please note that all other aspects of the design are fully compliant with the TPS and Residential Design Codes Codes.



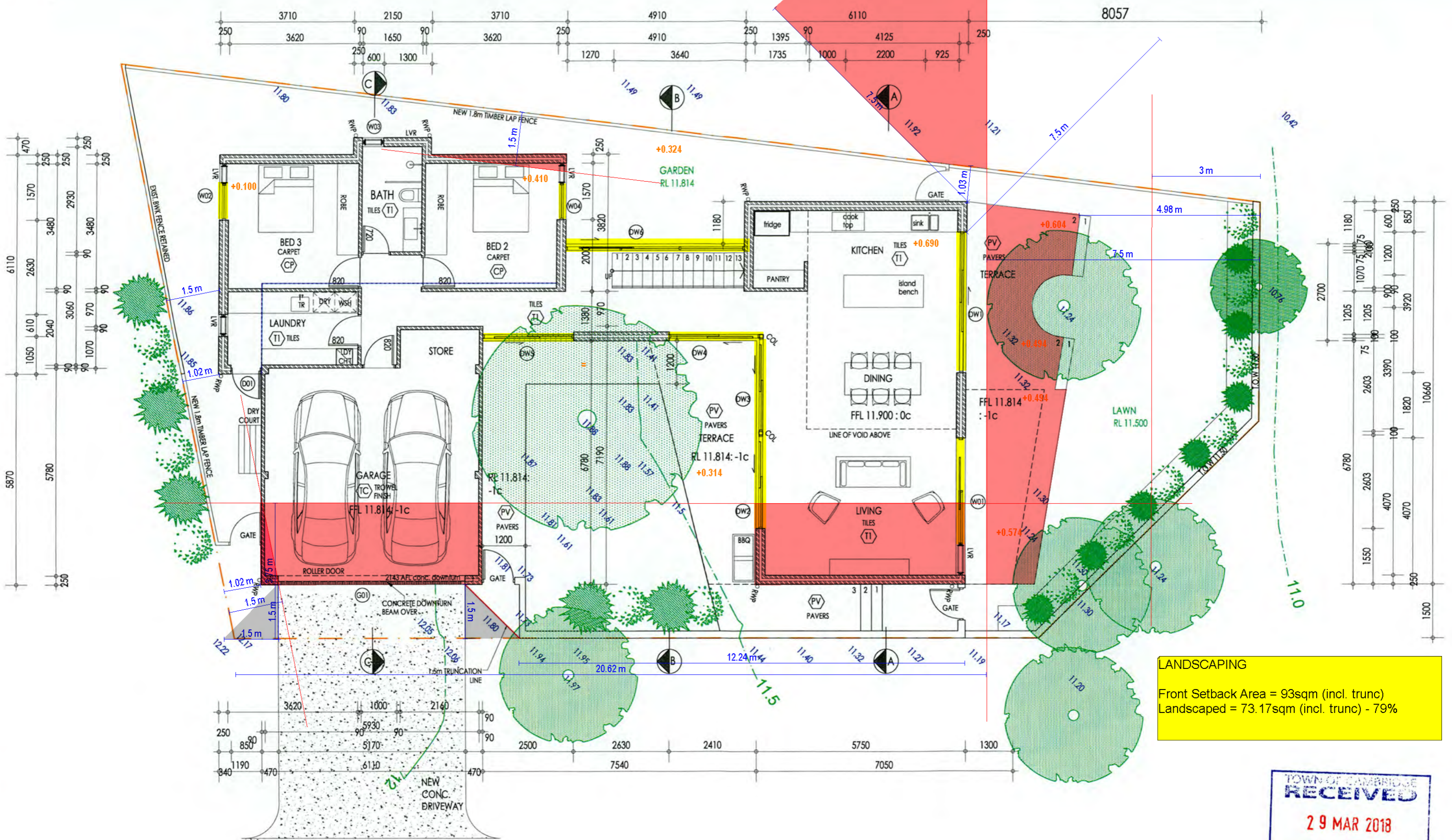
TIM WRIGHT ARCHITECT PTY LTD
 ABN 72112033511 e tim@timwrightarchitect.com
 t 0499 033 891 PO BOX 616 COTTESLOE 6911

Lot77 No23 PERINA WAY
 CITY BEACH
 WESTERN AUSTRALIA 6012

SITE LAYOUT PLAN			
JOB NO.	1704	REVISION	DRAWING
DRAWN	RD	B2	A0.01
DATE	02.03.2018		

B3	UPDATED DA SUBMISSION SET 3	22.03.2018
B2	UPDATED DA SUBMISSION SET	13.03.2018
B1	PRELIM DA SUBMISSION SET	12.01.2018

THIS DESIGN SHALL AT ALL TIMES REMAIN THE COPYRIGHT PROPERTY OF TIM WRIGHT WRITTEN CONSENT TO REPRODUCE THIS DESIGN IN EITHER TWO OR THREE DIMENSIONAL FORM MUST BE OBTAINED FROM TIM WRIGHT



LANDSCAPING
 Front Setback Area = 93sqm (incl. trunc)
 Landscaped = 73.17sqm (incl. trunc) - 79%

TOWN OF CAMBRIDGE
RECEIVED
 29 MAR 2018
 TIME:

GROUND FLOOR PLAN
 1:100



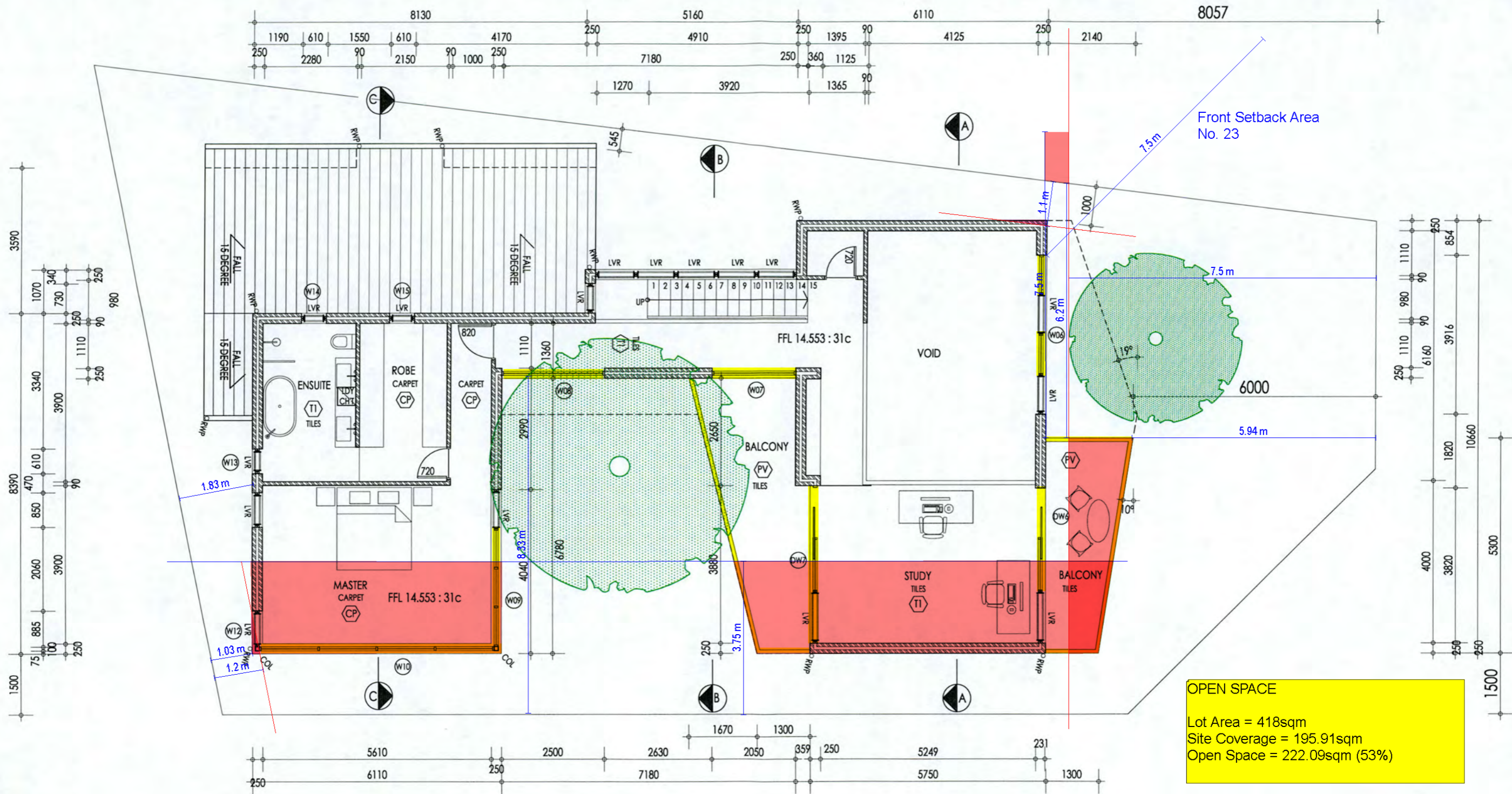
TIM WRIGHT ARCHITECT PTY LTD
 ABN 72112033511 e tim@timwrightarchitect.com
 t 0499 033 891 PO BOX 616 COTTESLOE 6911

Lot77 No23 PERINA WAY
 CITY BEACH
 WESTERN AUSTRALIA 6012

GROUND FLOOR PLAN			
JOB NO.	REVISION	DRAWING	
1704		B2	A1.01
RD			
02.03.2018			

NO.	DESCRIPTION	DATE
B2	UPDATED DA SUBMISSION SET	13.03.2018
B1	PRELIM DA SUBMISSION SET	12.01.2018

THIS DESIGN SHALL AT ALL TIMES REMAIN THE COPYRIGHT PROPERTY OF TIM WRIGHT ARCHITECT. CONSENT TO REPRODUCE THIS DESIGN IN EITHER TWO OR THREE DIMENSIONAL FORM MUST BE OBTAINED FROM TIM WRIGHT.



OPEN SPACE
 Lot Area = 418sqm
 Site Coverage = 195.91sqm
 Open Space = 222.09sqm (53%)

UPPER FLOOR PLAN
 1 : 100



TOWN OF CAMBRIDGE
RECEIVED
29 MAR 2018
 TIME: _____

TIM WRIGHT ARCHITECT
 PTY LTD

ABN 72112033511 e tim@timwrightarchitect.com
 † 0499 033 891 PO BOX 616 COTTESLOE 6911

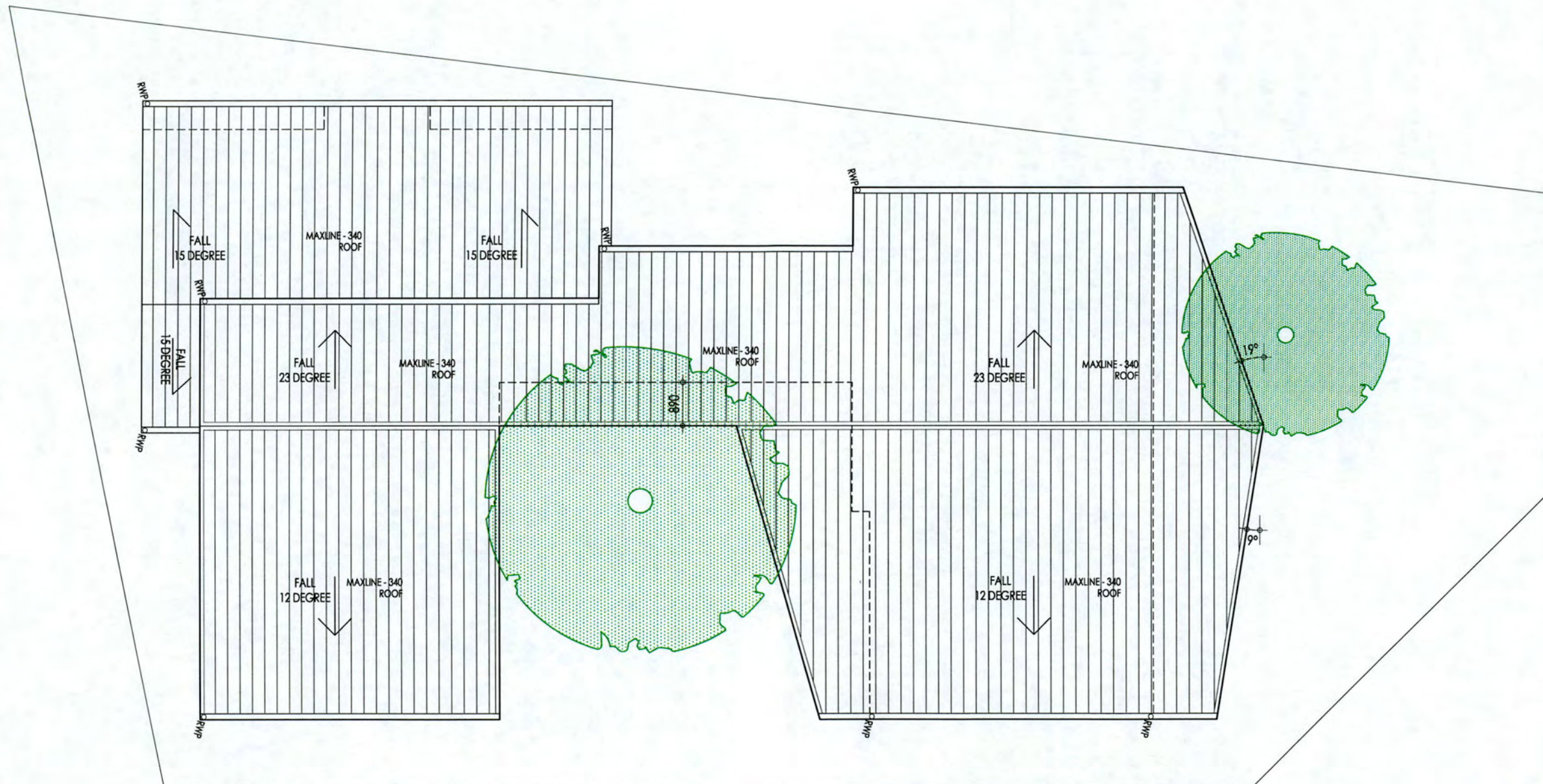
Lot77 No23 PERINA WAY
 CITY BEACH
 WESTERN AUSTRALIA 6012

UPPER FLOOR PLAN

JOB NO.	1704	REVISION	DRAWING
DRAWN	RD	B2	A1.02
DATE	02.03.2018		

B2	UPDATED DA SUBMISSION SET	13.03.2018
B1	PRELIM DA SUBMISSION SET	12.01.2018

THIS DESIGN SHALL AT ALL TIMES REMAIN THE COPYRIGHT PROPERTY OF TIM WRIGHT WRITTEN CONSENT TO REPRODUCE THIS DESIGN IN EITHER TWO OR THREE DIMENSIONAL FORM MUST BE OBTAINED FROM TIM WRIGHT



ROOF PLAN
1: 100



TOWN OF CAMBRIDGE
RECEIVED
29 MAR 2018
TIME: _____

**TIM WRIGHT ARCHITECT
PTY LTD**

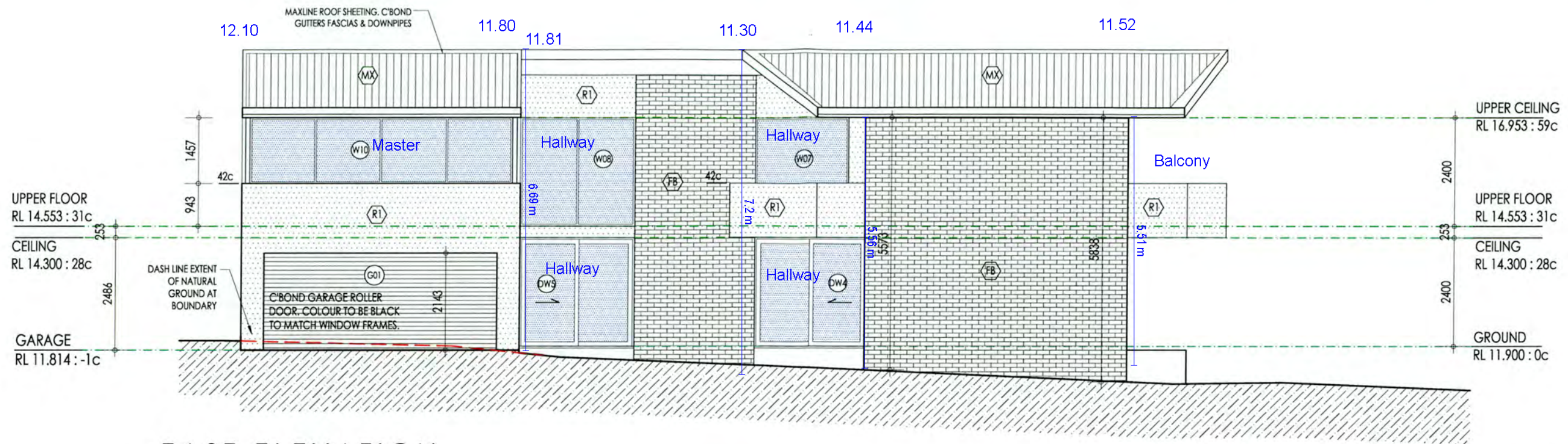
ABN 72112033511 e tim@timwrightarchitect.com
t 0499 033 891 PO BOX 616 COTTESLOE 6911

Lot77 No23 PERINA WAY
CITY BEACH
WESTERN AUSTRALIA 6012

ROOF PLAN

JOB NO.	1704	REVISION	DRAWING
DRAWN	RD	B2	A1.03
DATE	02.03.2018		

B2	UPDATED DA SUBMISSION SET	13.03.2018
B1	PRELIM DA SUBMISSION SET	12.01.2018
<small>THIS DESIGN SHALL AT ALL TIMES REMAIN THE COPYRIGHT PROPERTY OF TIM WRIGHT WRITTEN CONSENT TO REPRODUCE THIS DESIGN IN EITHER TWO OR THREE DIMENSIONAL FORM MUST BE OBTAINED FROM TIM WRIGHT</small>		

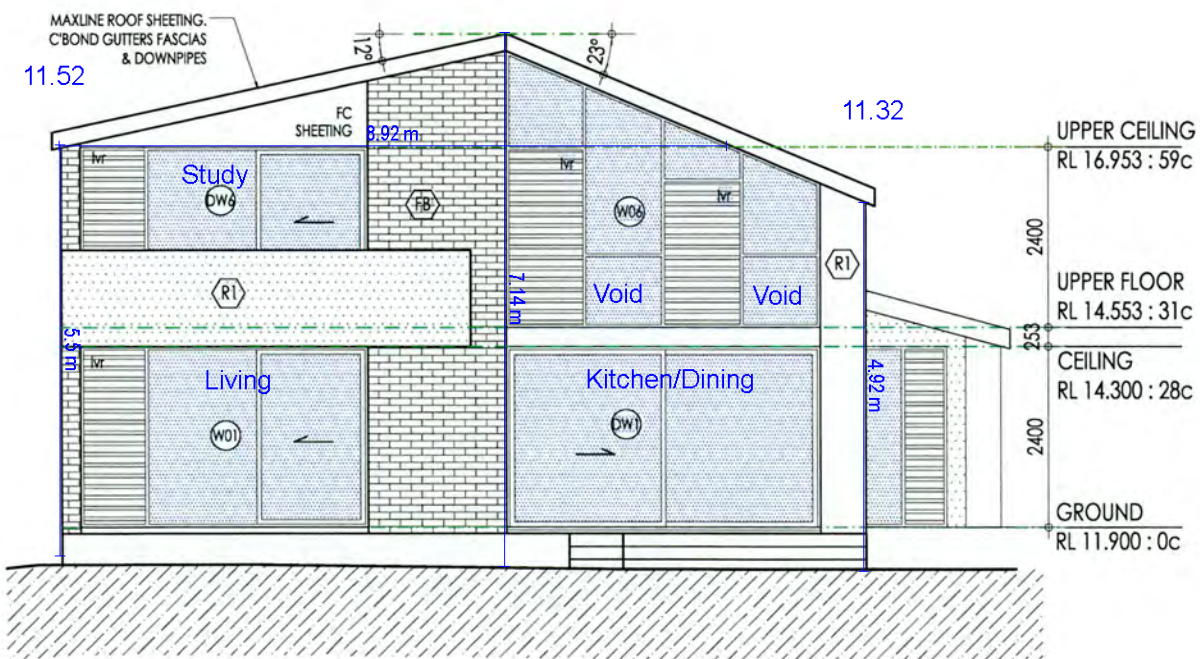


EAST ELEVATION

1: 100

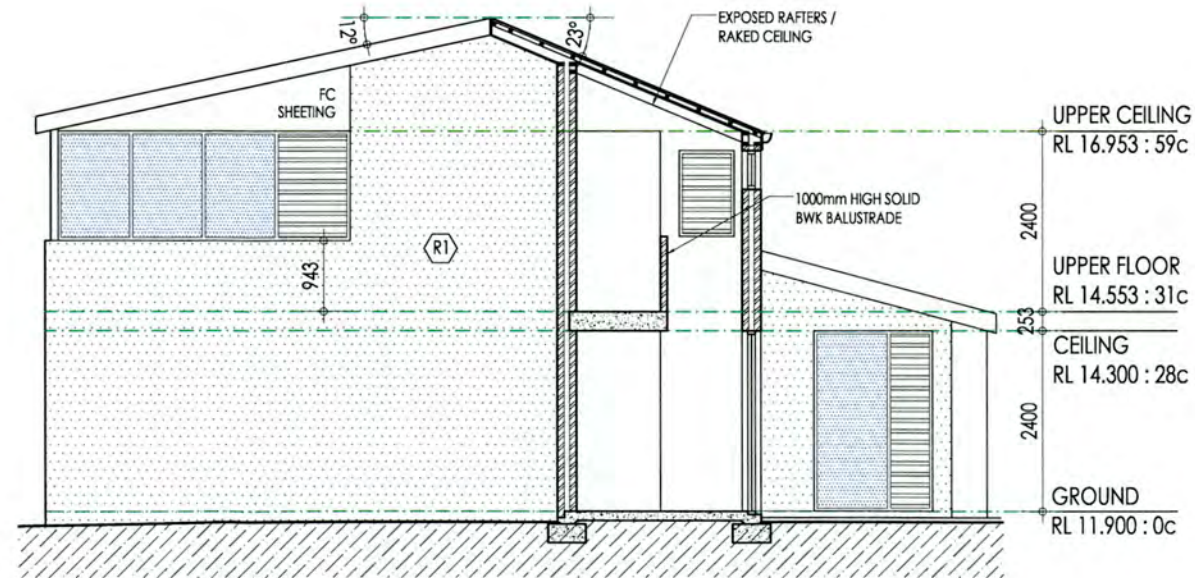
EXTERNAL FINISHES	
(FB)	FACE BRICKWORK: RECYCLED FACE BRICKWORK
(R1)	RENDERED BRICKWORK: TEXTURE COAT FINISH TO MASONRY WALL
(MX)	MAXLINE ROOF SHEETING: MAXLINE 340 ROOF SHEETING

WINDOW AND DOOR FRAMES	
	POWDERCOAT ALUM. FRAMING (GENERAL) - BLACK FINISH



NORTH (STREET) ELEVATION

1: 100



SECTION BB

1: 100



**TIM WRIGHT ARCHITECT
PTY LTD**

ABN 72112033511 e tim@timwrightarchitect.com
t 0499 033 891 PO BOX 616 COTTESLOE 6911

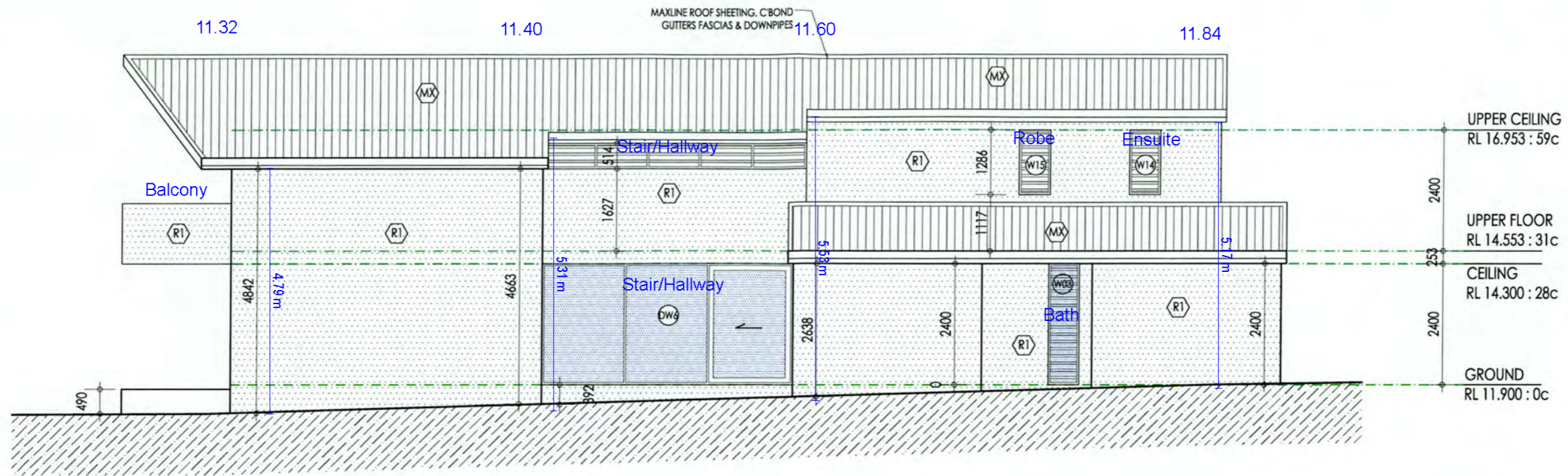
Lot77 No23 PERINA WAY
CITY BEACH
WESTERN AUSTRALIA 6012

ELEVATIONS 1

JOB NO.	1704	REVISION	DRAWING
DRAWN	RD	B2	A2.01
DATE	02.03.2018		

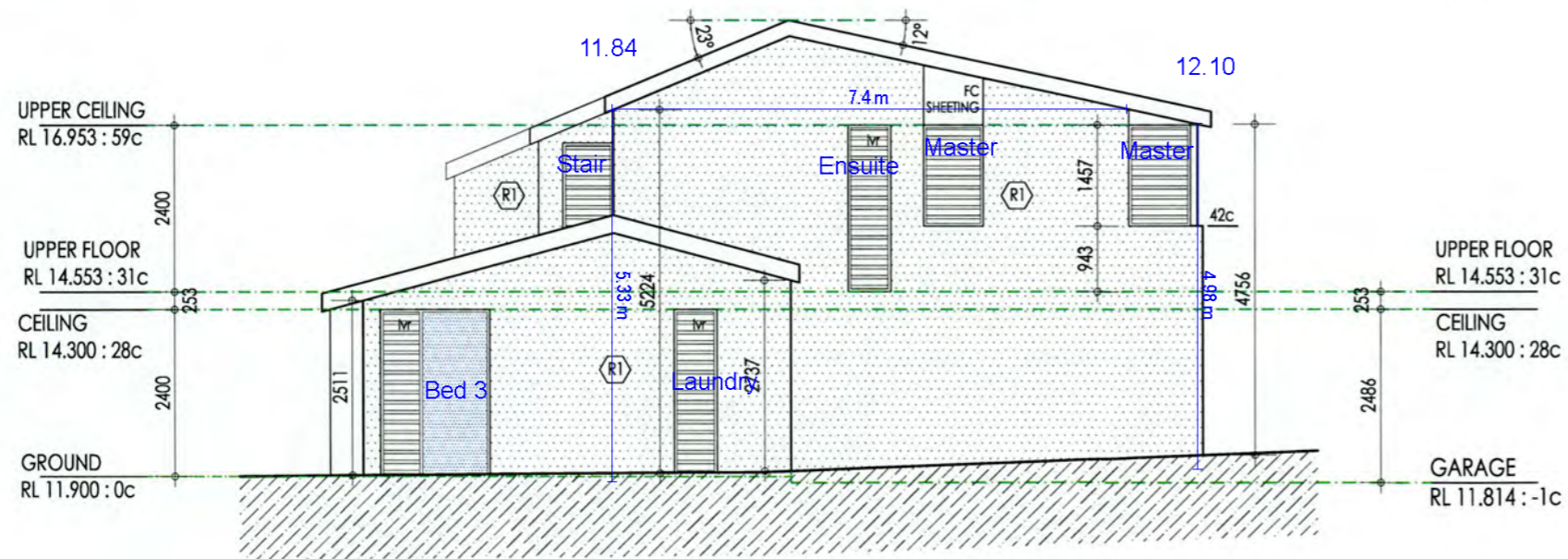
B2	UPDATED DA SUBMISSION SET	13.03.2018
B1	PRELIM DA SUBMISSION SET	12.01.2018

THIS DESIGN SHALL AT ALL TIMES REMAIN THE COPYRIGHT PROPERTY OF TIM WRIGHT WRITTEN CONSENT TO REPRODUCE THIS DESIGN IN EITHER TWO OR THREE DIMENSIONAL FORM MUST BE OBTAINED FROM TIM WRIGHT



WEST ELEVATION
1 : 100

EXTERNAL FINISHES		WINDOW AND DOOR FRAMES	
(FB)	FACE BRICKWORK: RECYCLED FACE BRICKWORK	(R1)	POWDERCOAT ALUM. FRAMING (GENERAL) - BLACK FINISH
(R1)	RENDERED BRICKWORK: TEXTURE COAT FINISH TO MASONRY WALL		
(MX)	MAXLINE ROOF SHEETING: MAXLINE 340 ROOF SHEETING		



SOUTH ELEVATION
1 : 100

**TOWN OF CAMBRIDGE
RECEIVED**
29 MAR 2018
TIME: _____

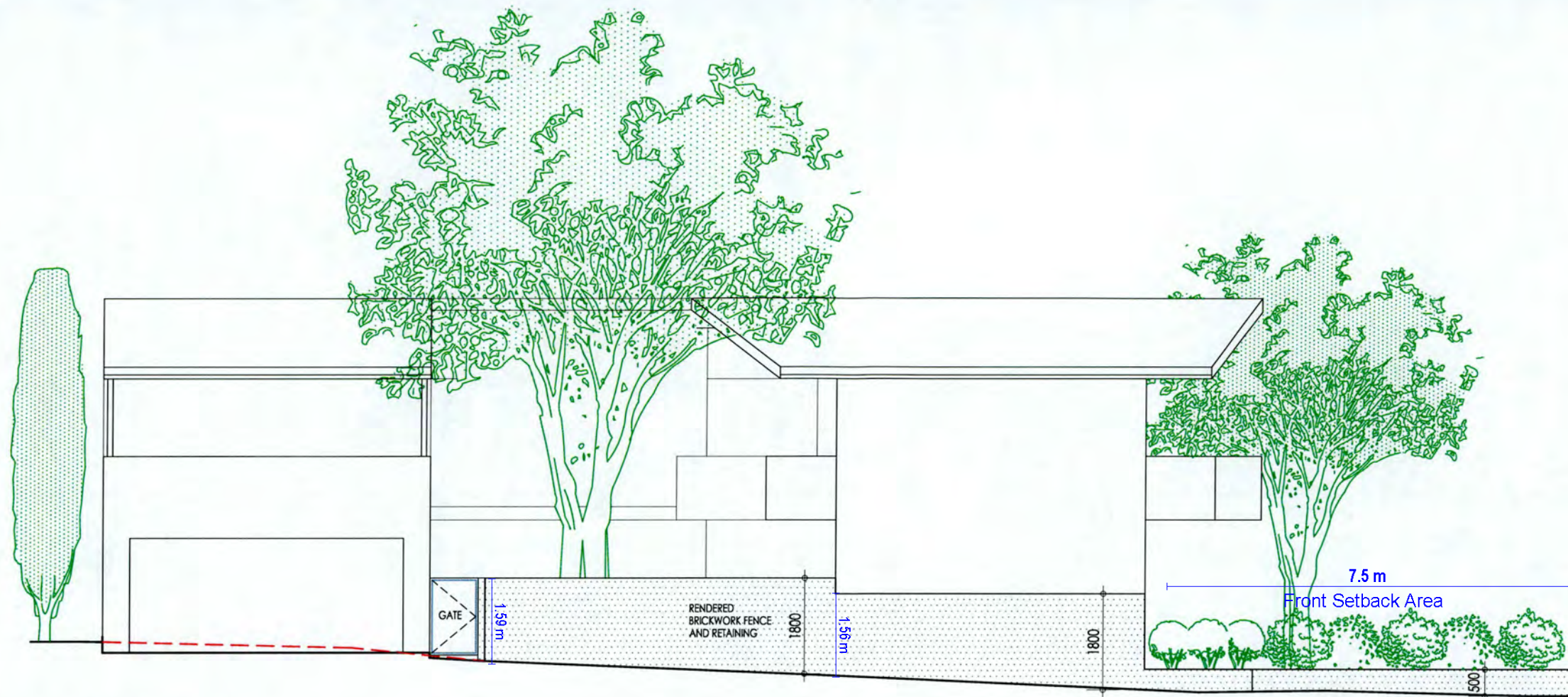
**TIM WRIGHT ARCHITECT
PTY LTD**
ABN 72112033511 e tim@timwrightarchitect.com
t 0499 033 891 PO BOX 616 COTTESLOE 6911

Lot77 No23 PERINA WAY
CITY BEACH
WESTERN AUSTRALIA 6012

ELEVATIONS 2			
JOB NO.	REVISION	DRAWING	
1704		B2	A2.02
RD			
DATE	13.03.2018		

REVISION	DESCRIPTION	DATE
B2	UPDATED DA SUBMISSION SET	13.03.2018
B1	PRELIM DA SUBMISSION SET	12.01.2018

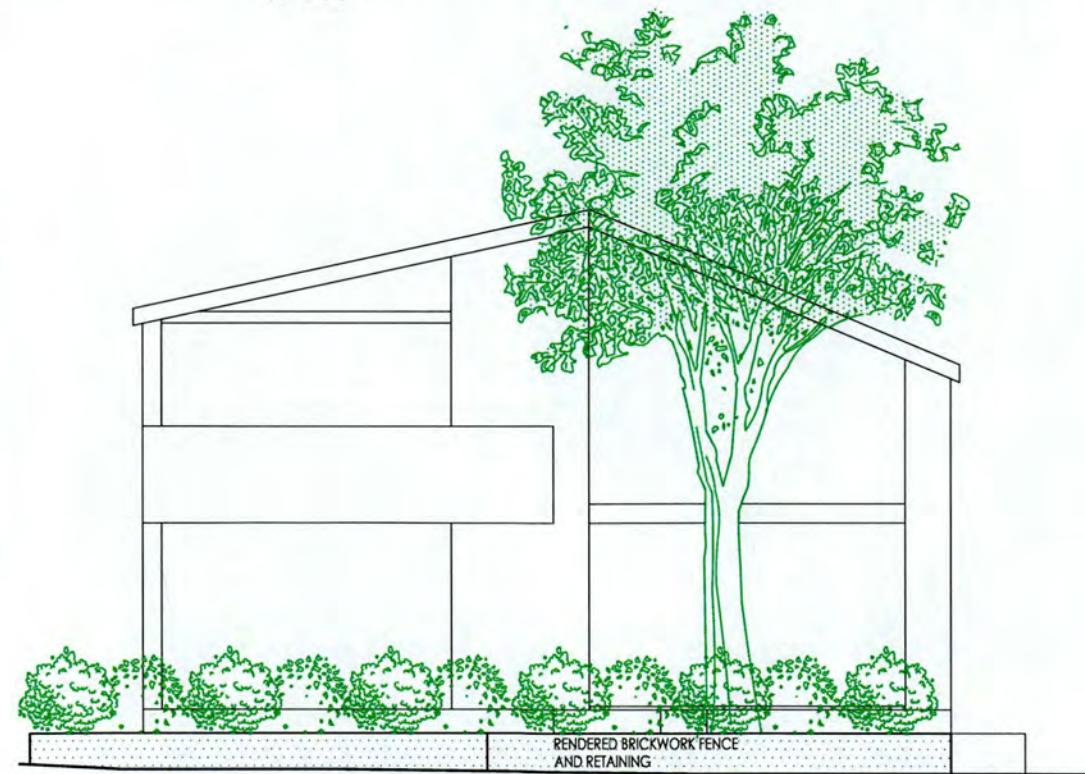
THIS DESIGN SHALL AT ALL TIMES REMAIN THE COPYRIGHT PROPERTY OF TIM WRIGHT WRITTEN CONSENT TO REPRODUCE THIS DESIGN IN EITHER TWO OR THREE DIMENSIONAL FORM MUST BE OBTAINED FROM TIM WRIGHT



EAST FENCE ELEVATION AND TREES
1: 100



COURTYARD TREES RETAINED
1: 100



NORTH FENCE ELEVATION AND TREES
1: 100

TOWN OF CAMBRIDGE
RECEIVED
29 MAR 2018
TIME: _____

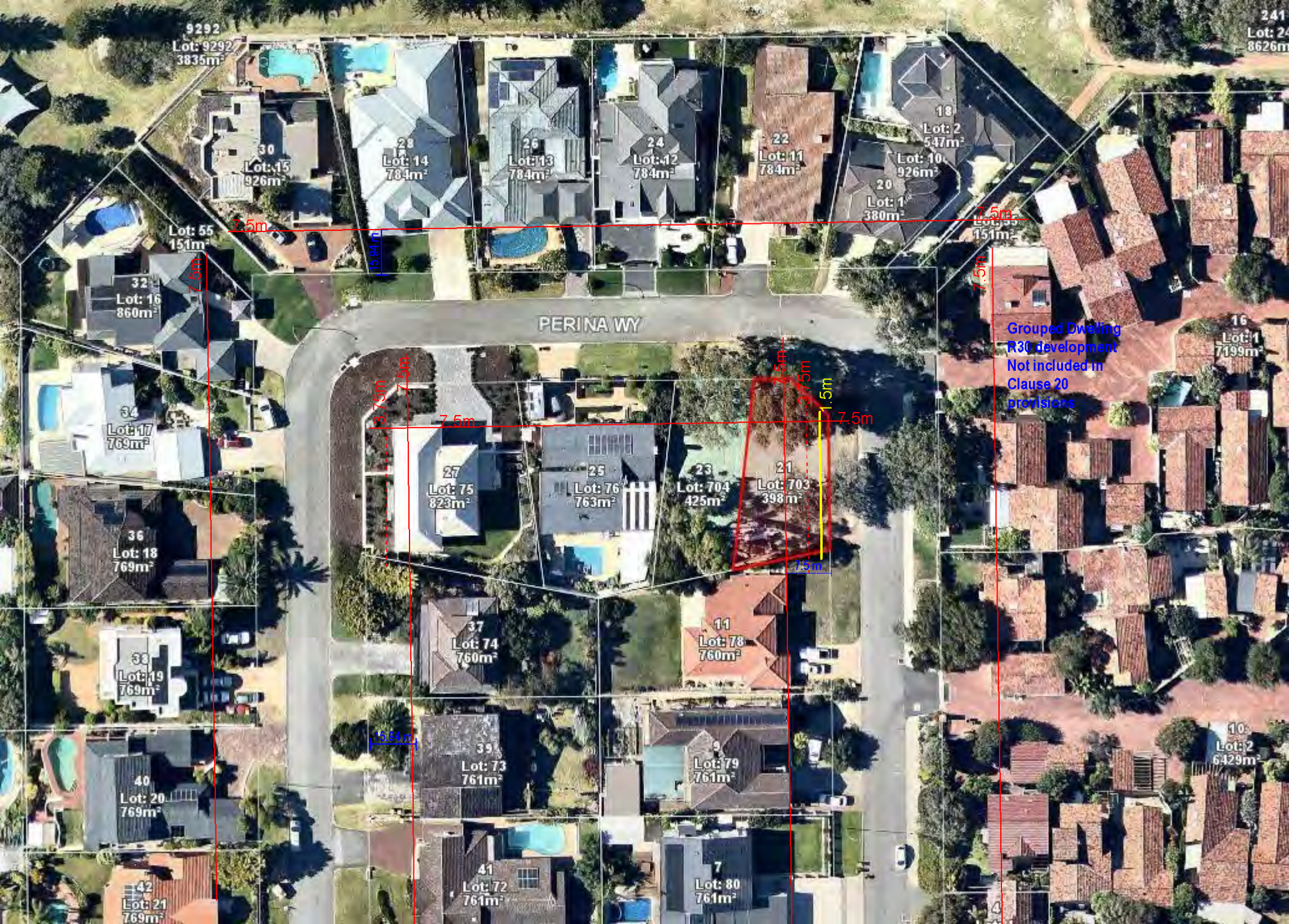
**TIM WRIGHT ARCHITECT
PTY LTD**
ABN 72112033511 e tim@timwrightarchitect.com
t 0499 033 891 PO BOX 616 COTTESLOE 6911

Lot77 No23 PERINA WAY
CITY BEACH
WESTERN AUSTRALIA 6012

STREET FENCE ELEVATIONS			
JOB NO.	REVISION	DRAWING	
1704			
RD		B2	A2.03
13.03.2018			

REVISION	DATE
B2	13.03.2018
B1	12.01.2018

THIS DESIGN SHALL AT ALL TIMES REMAIN THE COPYRIGHT PROPERTY OF TIM WRIGHT WRITTEN CONSENT TO REPRODUCE THIS DESIGN IN EITHER TWO OR THREE DIMENSIONAL FORM MUST BE OBTAINED FROM TIM WRIGHT



9292
Lot: 9292
3835m²

30
Lot: 15
926m²

28
Lot: 14
784m²

26
Lot: 13
784m²

24
Lot: 12
784m²

22
Lot: 11
784m²

18
Lot: 2
547m²

20
Lot: 1
380m²

Lot: 55
151m²

Lot: 55
151m²

32
Lot: 16
860m²

PERINA WY

Grouped Dwelling
R30 development
Not included in
Clause 20
provisions

16
Lot: 1
7199m²

34
Lot: 17
769m²

27
Lot: 75
823m²

25
Lot: 76
763m²

23
Lot: 704
425m²

21
Lot: 703
398m²

36
Lot: 18
769m²

38
Lot: 19
769m²

37
Lot: 74
760m²

11
Lot: 78
760m²

40
Lot: 20
769m²

39
Lot: 73
761m²

9
Lot: 79
761m²

42
Lot: 21
769m²

41
Lot: 72
761m²

7
Lot: 80
761m²

10
Lot: 2
6429m²

7.5m

15.94m

7.5m

7.5m

7.5m

7.5m

7.5m

7.5m

1.5m

7.5m

7.5m

15.94m









APPLICANT'S JUSTIFICATION

I have carefully designed the house around a courtyard that retains a very substantial tree. Notwithstanding the tree, the courtyard is a substantial garden space.

The attached site plan clearly defines the area of open garden space, compared to build form.

The secondary street setbacks vary greatly from 1 500 to 8 500.

The spirit of the town planning scheme for City Beach is for a garden suburb typology. This is fully endorsed by me the architect and formed the basis for this design.

This is a thoughtfully designed modest house that satisfies all the design elements that the council so strongly promotes:

- Retention of existing mature trees
- Articulated and varied design with large gardens.

This site is very unique and the design response is also unique and appropriate for this site.

In the City Beach context this property is small and therefore, the design of this house should be celebrated as an example of what can be achieved, within the aspirations of the garden suburb typology.

Front Setback (Clause 20, TPS No. 1): the minimum required setback for the proposed balcony and raised porch area from the front primary street (northern) boundary is 7.5 metres. A setback of 4.98 metres is proposed to the raised porch, and 5.94 metres to the upper floor balcony is shown on the proposed plans.

The balcony is dimensioned at 6.00 metres setback, at its closest point. It is unsupported as a cantilever and the encroachment is minor. The main portion of the building and indeed the entire building line is set back at 8.057, more than required.

The porch is paving and part of the landscape. It is also sculptured around the existing tree which is proposed to remain. This can be removed and can be a condition of approval if required. It should be noted that the adjoining neighbour is the applicant and they have obviously have no objection to this.

Secondary Street Setback (Clause 20, TPS No. 1): the minimum required setback for the proposed garage, living, master, study and balcony (x2) from the secondary street (eastern) boundary is 3.75 metres, the plans submitted show a setback of 1.5 metres.

As previously noted in the application, on the drawings, the side setback, Secondary Street, is designed with a minimum of 1.5 metres for two, 6.00 metre long walls. A major portion of the building is setback 8.30 metres. This variation in setback creates a very large garden courtyard, specifically designed to retain the existing tree.

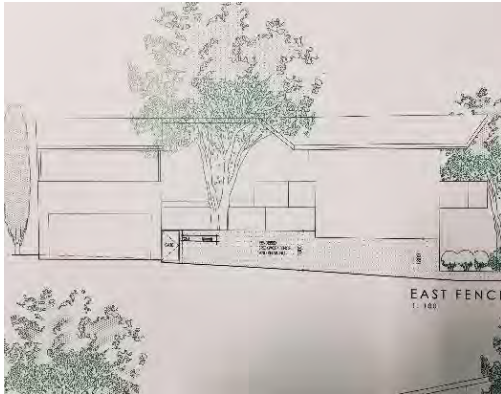
The house is in its self a modest size thereby securing large areas of land for garden.

ATTACHMENT:
Summary of Applicant's Justification
and Neighbour Comment

DV18.92 - LOT 704 (NO. 23) PERINA WAY, CITY BEACH

Street Surveillance: the front door of a dwelling is to be clearly visible from the street (either primary or Secondary Street). An open style porch, portico or verandah is encouraged to articulate an entry. The proposed plans do not show a clearly defined entrance.

The entrance door is clearly visible from the eastern elevation. However as discussed this will be further clarified by a noted street address sign and letter box similar to the image below:



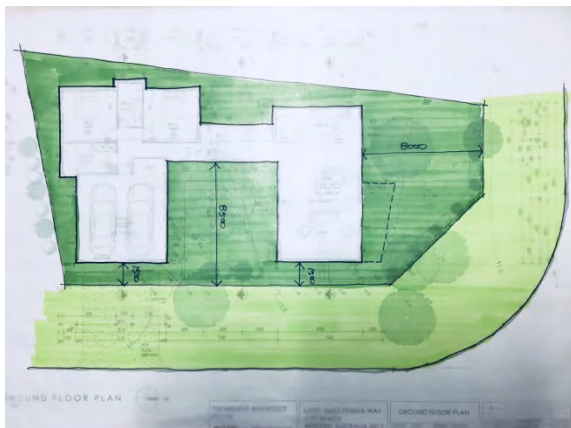
Colours and Finishes

The roof sheet is proposed to be dark grey
Walls will be combination of recycled bricks and painted cement render.

Summary

I sincerely trust that council can be supportive of this proposal; the house is in its self of a modest size thereby securing large areas of land for garden. Existing mature trees are being retained, which is very important to the overall design of the house.

The overriding premise of the Town Planning Scheme on street setbacks is to maintain the garden suburb typology, of large gardens set around houses on large individual sites. This site by virtue of its zoning is smaller than typical, however considered and appropriate design has facilitated a house that upholds all aspect of the garden suburb ideals.



ATTACHMENT:
Summary of Applicant's Justification
and Neighbour Comment

DV18.92 - LOT 704 (NO. 23) PERINA WAY, CITY BEACH



NEIGHBOUR COMMENT

Comment 1:

We do not agree that the deemed-to-comply provisions should be varied for this development. The plans should comply as others in the street have.

Comment 2:

I am writing to you to express my objection that the proposed secondary setback on the eastern boundary of 3.75 metres is compromised by the plans submitted setback of 1.5 metres as shown on the drawing.

This 1.5 meters planned setback variation is quite a large deviation from the Town Of Cambridge allowed 3.75 metres, with which I have no objection.

Therefore, in my opinion, the 1.5 meters planned setback is pushing it to the limit and is contradicting the objective of having a Garden Suburb streetscape in City Beach preserving the open, green, well maintained established setbacks so highly regarded by the Perina Way residents.