



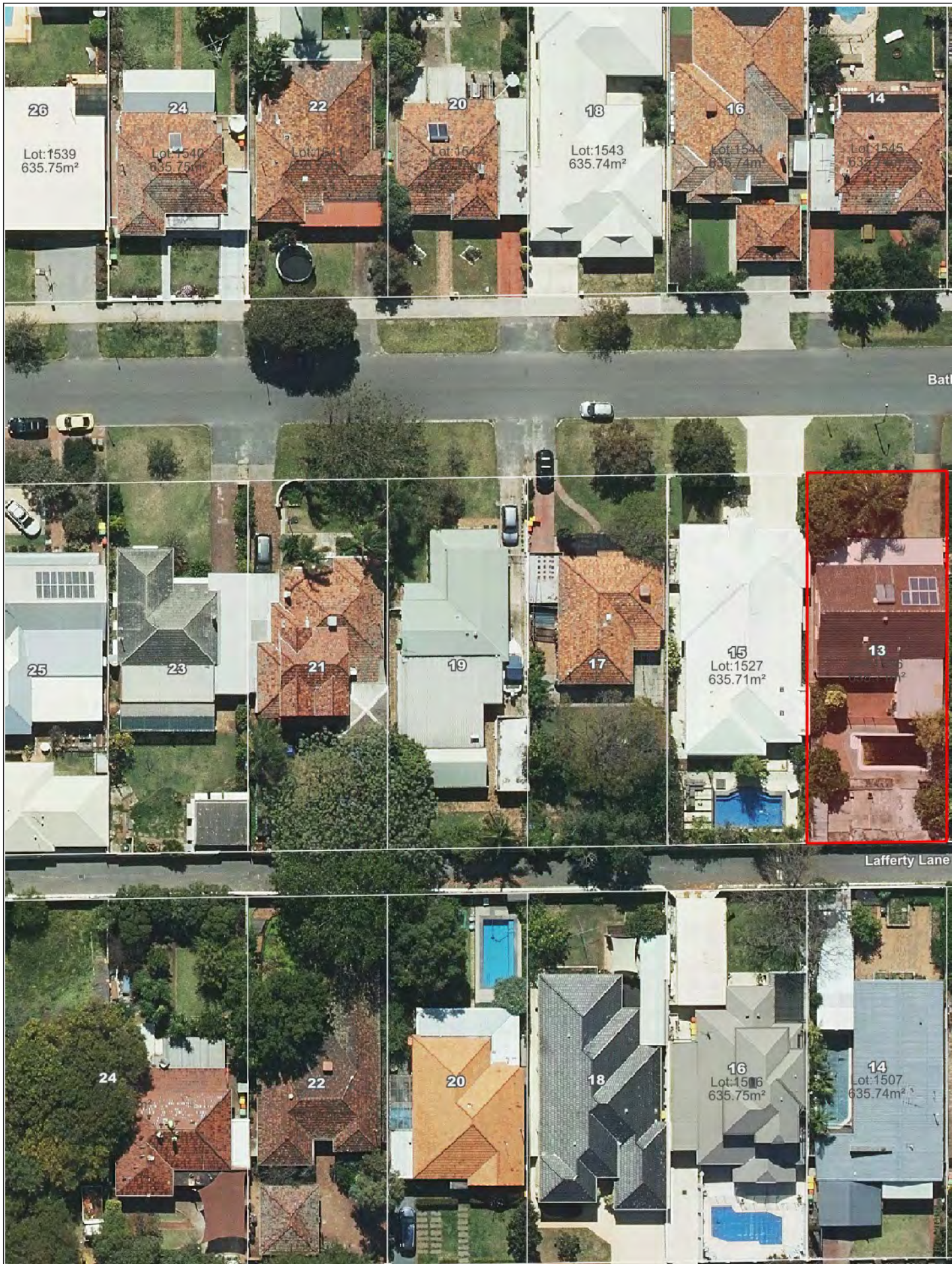
**DEVELOPMENT COMMITTEE  
MEETING**

**TUESDAY 16 MARCH 2020**

**ATTACHMENT 1 OF 4 TO ITEM  
DV21.11**

**AERIAL PLAN**





26

Lot:1539  
635.75m<sup>2</sup>

24

Lot:1540  
635.75m<sup>2</sup>

22

Lot:1541  
635.75m<sup>2</sup>

20

Lot:1542  
635.75m<sup>2</sup>

18

Lot:1543  
635.74m<sup>2</sup>

16

Lot:1544  
635.74m<sup>2</sup>

14

Lot:1545  
635.74m<sup>2</sup>

25

23

21

19

17

15

Lot:1527  
635.71m<sup>2</sup>

13

24

22

20

18

16

Lot:1516  
635.75m<sup>2</sup>

14

Lot:1507  
635.74m<sup>2</sup>





**DEVELOPMENT  
COMMITTEE MEETING**

**TUESDAY 16 MARCH 2020**

**ATTACHMENT 2 OF 4 TO  
ITEM DV21.11**

**DEVELOPMENT PLANS**

LOT 1526

Latitude: 31°55'35"9S    Longitude 115°49'17"1E

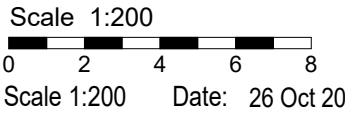
**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.



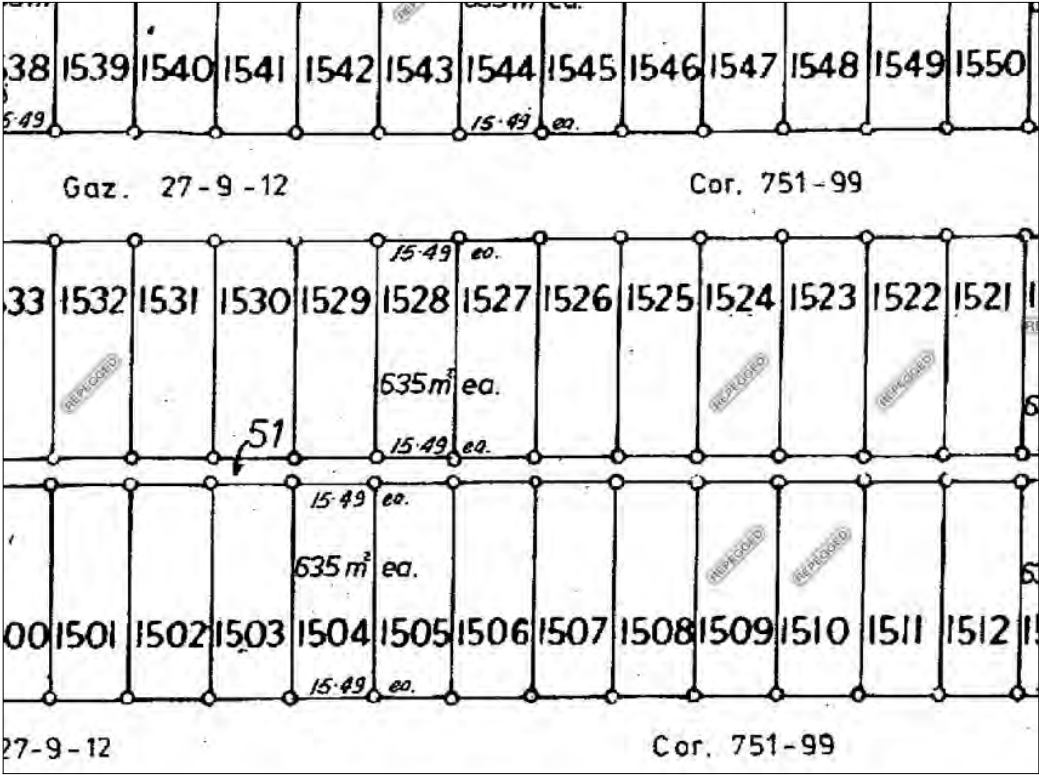
LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
		Top Pillar/Post
		Top Wall
		Top Retaining
		Top Fence

PROJECT No. <b>14449</b>		SHEET No. <b>11 of 12</b>	
<b>SIDE SURVEY SHEET</b>			
DRAWN: SA		DATE: DEC' 20	REV # <b>A</b>
SCALE: 1:200		CHK: MF	
VARIATION	DATE	DRAWN	CHK
			####
CONTRACT PLANS			
These are the plans referred to in the Building Contract			
CLIENT: .....			
CLIENT: .....			
BUILDER: .....			
DATE: .....			
No further structural changes			
© COPYRIGHT			

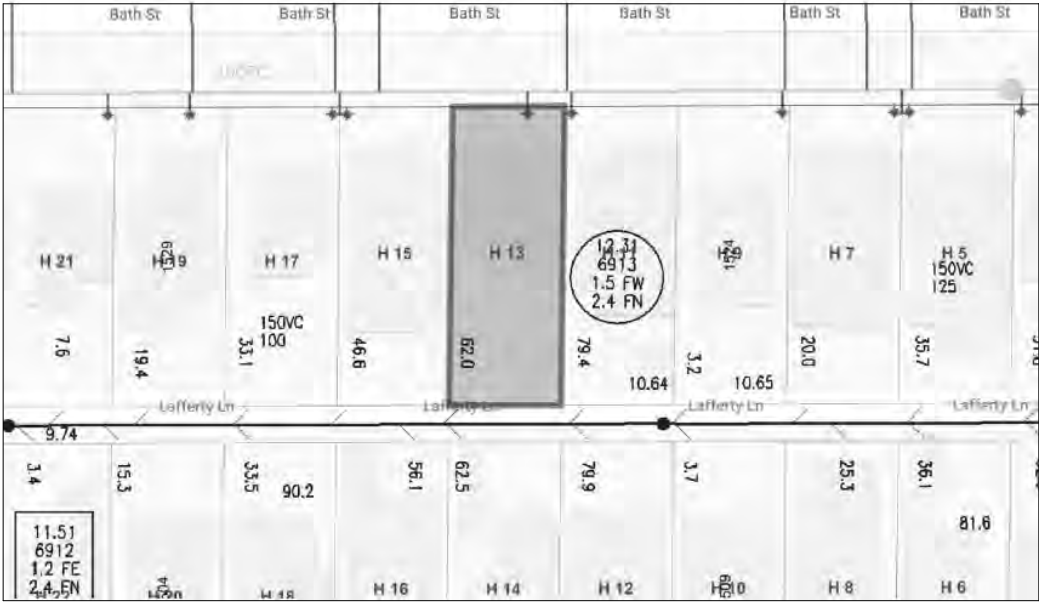
TOWN OF CAMBRIDGE  
AMENDED PLAN  
RECEIVED  
  
15 January 2021

ACN 055 245 308 - B.C - 8867  
Level 4, 302 Selby Street,  
Osborne Park W.A. 6017  
P.O Box 1101  
Osborne Park W.A. 6916  
PH (08) 9202 5222  
FAX (08) 9202 5233

CLIENT :	Ward	CONTRACT / JOB NO. <b>14449</b>
		MAP REF. <b>342 A7</b>
SITE SURVEY	<b>LOT 1526</b>	COASTAL NO
	(#13) Bath Street	(Scaled from StreetSmart Directory Only - Confirm With Shire) <b>OLD AREA</b>
Suburb	Wembley	
Loc.Auth.	TOWN OF CAMBRIDGE	
Plan	3273	Volume 1112 Folio 522
Location	Check Title	



Elec.		U/Ground	Water	Yes	Sewer	Yes
Gas	Yes - Bath St	Phone	Yes	Footpath	Nil	
Road	Bitumen	Comms	Kerb Non-Mount / Nil	Drainage	Good	



87-89 Guthrie Street, Osborne Park, Western Australia  
Telephone: (08) 9446 7361    Facsimile: (08) 9445 2998  
Email : perth@cottage.com.au    Website: www.cottage.com.au  
Licensed Surveyors    © J/No: 483344    Drawn: B. Saliba

**NOTE** - EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION - SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING - NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

**⚠DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

PROJECT No. <div style="font-size: 2em; font-weight: bold;">14449</div>	SHEET No. <div style="font-size: 3em; font-weight: bold;">1 of 12</div>		
<b>SITE PLAN</b>			
DRAWN: SA SCALE: 1:200	DATE: DEC' 20 CHK: MF		
REV # <b>A</b>			
VARIATION	DATE	DRAWN	CHK <div style="font-weight: bold; font-size: 1.2em;">####</div>
<div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; font-size: 1.2em;">CONTRACT PLANS</div>			

These are the plans referred to in the Building Contract

CLIENT: -----

CLIENT: -----

BUILDER: -----

DATE: -----

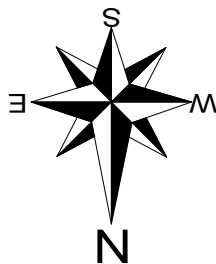
No further structural changes

© COPYRIGHT

NOTE: ALL DOWNPIPES  
CONNECTED TO  
SOAKWELLS WITH PVC  
STORMWATER PIPE BY  
BUILDER

SOIL DESCRIPTION	
Fill Sand trace artificial material; Fill Sand	
Sand trace organic material;	
Organic refusal	Refer to Survey

A horizontal number line is shown, starting at 0 and ending at 8. The line is divided into segments by tick marks at every integer. The segments alternate in color: black, white, black, white, black, white, black, white. The segments are of equal length, each representing 1 unit.




**CLIENT NOTE:**  
OWNER TO BACKFILL & COMPACT EXISTING  
POOL AREA AS PER ENGINEERS REQUIREMENTS.  
OWNER TO PROVIDE COMPACTION CERTIFICATE  
PRIOR TO CONSTRUCTION. REFER TO DEMOLITION  
PLAN FOR LOCATION.

OWNER TO ARRANGE FOR THE SEWER  
CONNECTION TO BE BROUGHT TO 1.5m FROM  
THE SURFACE PRIOR TO CONSTRUCTION

Grano / Paving Areas		
	AREA	Perimeter
PAVED DRIVEWAY	39.89	25.63
GARAGE	34.70	23.83

**TOWN OF CAMBRIDGE  
AMENDED PLAN  
RECEIVED  
15 January 2021**


**CONCRETOR / PLUMBER**  
**NOTE:** DROP SLAB TO SHOWERS BY 25mm (REFLUX VALVE TO SEWER JUNCTION)

SET-OUT PEGS  
BY LICENSED  
SURVEYOR  
(2 OFF) 

W. WITH PGI  
NG & KORDON  
E BARRIER TO  
D PIERS (REFER  
IL 'F' SHEET '9')

Garage UMR  
Approx F/L 11.96  
TOP OF FOOTINGS  
@ -4c

KWEILL  
JILDER


**PEG  
GONE**  
 CROSSOVER  
 (INCL. CONCRETE APRON)  
 TO COUNCIL SPECIFICATIONS  
 (REFER TO ADDENDA)

Ref Nail At Edge Of Road A.H.D. level 11.73m  
(Established from S.S.M. WEMBLEY 65 using  
data supplied by the Geodetic Section of Landgate)

OWNER TO ARRANGE  
NON-MOUNTABLE KERB  
TO BE MOUNTABLE  
PRIOR TO CONSTRUCTION

**CONCRETOR NOTE:**  
DROP GARAGE FOOTINGS  
BY 1c TO A MINIMUM OF 1  
METRE FROM THE FRONT  
OF THE GARAGE PIERS  
(WHERE APPLICABLE)

# Bath Street

NOTE: ALL DOWNPIPES  
CONNECTED TO  
SOAKWELLS WITH PVC  
STORMWATER PIPE BY  
BUILDER



- COLORBOND ROOF @ 24°43 PITCH
- NON-COASTAL ZONE
- N1 WIND CLASSIFICATION (AS PER ENGINEERS CERTIFICATION OF INSPECTION)
- 30c HIGH CEILING THROUGHOUT - UNLESS NOTED OTHERWISE (NOTE: WINDOW HEADS AT 27c, DOUBLE ANGLES & BWK OVER ALL DOORS & SLIDING DOORS)
- RENDERED BWK TO FRONT ELEVATION - AS INDICATED ON ELEVATIONS
- 2c FACE BRICKWORK TO THE REMAINDER OF RESIDENCE

**PLUMBER NOTE:**  
CONDUIT UNDER  
SLAB FOR GPO  
(REFER TO SITE PLAN)

EXTERNAL FACE BRICK SIZE:  
290L x 90W x 162H  
ALL COURSE HEIGHTS SHOWN  
ARE TO STANDARD BRICK COURSING  
EXTERNAL FACE BRICKWORK TO BE  
IN ONE THIRD BOND COURSING

FIRST COURSE OF BWK ABOVE  
FOOTING  
& SLAB TO BE 76mm CORED BRICK  
WINDOWS SILLS TO BE 2c  
HIGH FINISHING SILL BRICKS  
UNLESS NOTED OTHERWISE

## BOX OUT CEILING JOISTS OVER HOTPLATE

**NOTE:** DROP SLAB TO SHOWERS BY 25mm (REFLUX VALVE TO SEWER JUNCTION)

BOX OUT CEILING JOISTS OVER  
GARAGE CONDUITS (REFER  
SHEET '4' FOR LOCATIONS)

TOP OF FOOTINGS
@ -4c
190W BWK FROM
-4c UP TO -2c

**CONCRETOR NOTE:**  
PROP GARAGE FOOTING  
1c TO A MINIMUM OF  
ETRE FROM THE FROM  
OF THE GARAGE PIERS  
(WHERE APPLICABLE)

- REFER TO ENERGY EFFICIENCY SHEETS FOR LIGHT/ VENT REQUIREMENTS
- CORNER PLASTER BEADS TO 45° & 90° CORNERS ONLY UNLESS OTHERWISE NOTED ON PLAN
- REMOVE COUNTER SECTIONAL DOOR TO GARAGE (REFER TO ADDENDA)
- LIFT OFF HINGES TO WC DOORS
- REFER TO ADDENDA FOR BENCHTOP MATERIAL & FINISH
- DOUBLE TOWEL RAIL TO BATHROOM & ENSUITE (REFER TO ADDENDA)
- MITRED EGGE TILING TO WET AREAS WHERE APPLICABLE (REFER TO ADDENDA)
- CABINET MAKER TO CONFIRM VENTING REQUIREMENTS FOR ALL BUILT IN APPLIANCES (REFER TO ADDENDA)

- NO FLUE PIPES TO FRONT ELEVATION ROOF
- DOWNPIPES TO ROOF SHALL BE AT CENTRES TO ROOF PLUMBERS DISCRETION
- REFER TO ADDENDA FOR MAKE & MODEL OF ALL FIXTURES & FITTINGS
- COLD PLUMBING ONLY TO DISHWASHER RECESS
- COLD WATER STOP COCK TO FR RECESS
- EXTRA GUTTER OVERFLOW PROVISIONS MAY BE REQUIRED IN ACCORDANCE WITH NCC  
INSTALLED AT THE PLUMBERS DISCRETION

- \* FACE BWK TO INSIDE OF GARAGE TO BE 2ND FACE WITH CONCAVE JOINT
- \* DIMENSION TO BWK ONLY-PLASTER MARGIN NOT ALLOWED FOR
- \* HOLDING DOWN RODS TO BRICK PIERS WITH BEAM ABOVE
- \* HOLDING DOWN STRAPS TO PIERS WITHOUT BEAM ABOVE
- \* HOLDING DOWN STRAPS TO PERIMETER OF HOUSE
- \* FLASHING REQUIRED TO BWK ABOVE WINDOWS & SLIDING DOORS WHERE NO EAVES & MORE THAN 3" BRICKWORK ABOVE WINDOWS & SLIDING DOORS WITH AN EAVE
- \* 2ND FACE BRICKWORK MAY BE USED ON SINGLE LEAF FACE BRICK WALLS WHERE REQUIRED. THE APPEARANCE OF THE 1ST AND 2ND FACE OF THE SELECTED BRICK MAY VARY SIGNIFICANTLY

- ROOF TIE DOWN IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS
- ROOF COVER INSTALLED TO MANUFACTURERS SPECIFICATIONS
- TRIPLE GRIP CONNECTORS TO RAFTER-PITCHING BEAMS CONNECTIONS
- COLLAR TIES TO UNDERSIDE OF RIDGE BEAM
- ALL ROOF & CEILING TIMBER TO BE H2 TREATED


ADDRESS:  
LOT 1526 (#13) BATH STREET  
**WEMBLEY**  
TOWN OF CAMBRIDGE

SHEET No.

'BATALI'

FLOOR PLAN

DRAWN: SA      DATE: DEC'  
SCALE: 1:100    CHK: MF

MAP REF <b>342 - A7</b>		LATITUDE <b>31o55'35"S</b>		LONGITUDE <b>115o49'17"E</b>	
VARIATIONS			These are the plans referred to in the Building Contract		
No.	DATE	DRAWN			
			CLIENT: _____		
			CLIENT: _____		
			BUILDER: _____		
			DATE: _____		
			No further structural changes		
			© COPYRIGHT		
 <p>ACN 055 245 308 - B.C. - 8867 Level 4, 302 Selby Street, Osborne Park W.A. 6017 P.O Box 1101 Osborne Park W.A. 6916 <b>PH (08) 9202 5222</b> FAX (08) 9202 5233</p>			<b>HOUSE AREAS</b>		
			HOUSE AREA		214.81
			GARAGE		37.17
			ALFRESCO		17.76
			VDAH		17.26
			<b>287.00 m²</b>		
			PERIMETER		70.36 m

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- COPYRIGHT - THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF THE BUILDER AND MUST NOT BE GIVEN, LENT, RESOLD OR OTHERWISE DISPOSED OF OR COPIED WITHOUT THE PERMISSION IN WRITING OF THE BUILDER

M:\## DRAWINGS\14449\14449.pln

- COLORBOND ROOF @ 24°43 PITCH
- NON-COASTAL ZONE
- N1 WIND CLASSIFICATION (AS PER ENGINEERS CERTIFICATION OF INSPECTION)
- 30c HIGH CEILING THROUGHOUT - UNLESS NOTED OTHERWISE (NOTE: WINDOW HEADS AT 27c, DOUBLE ANGLES & BWK OVER ALL DOORS & SLIDING DOORS)
- RENDERED BWK TO FRONT ELEVATION - AS INDICATED ON ELEVATIONS
- 2c FACE BRICKWORK TO THE REMAINDER OF RESIDENCE

**TILER NOTE:**  
TILE CLADDING FIXED  
TO BWK WITH  
APPROVED ADHESIVE

EXPOSED TIMBER  
PERIMETER BEAM  
(PAINTED)

DOUBLE ANGLES  
& BWK OVER

DOUBLE ANGLES & BWK OVER T-BAR

33c

GF Ceiling 2,607 (30c+ PLATE)

28c

10c S F

TIMBER POST

CONTRASTING RENDER

TIMBER POST

3c

50mm DEEP  
TILED RECESS

28c

25c

3c

0c

CONTRASTING  
RENDERED  
BWK PIER

RENDER

CONTRASTING  
RENDERED  
BWK PIER

PELMET

50mm DEEP  
TILED RECESS

REMOTE CONTROL  
SECTIONAL DOOR

GARAGE GRANO  
HARDSTAND @ -1c

31c G.O.W

EXTENT OF  
RENDER

4c

**CONCRETOR NOTE:**  
DROP GARAGE FOOTINGS  
BY 1c TO A MINIMUM OF 1  
METRE FROM THE FRONT  
OF THE GARAGE PIERS  
(WHERE APPLICABLE)

**ELEVATION 1**

This architectural elevation drawing illustrates the facade of a building, detailing structural elements, materials, and dimensions. The drawing is divided into two main sections by a vertical line.

**Left Section:**

- Dimensions:** The total height is 2,607 units, and the ground level is marked as GF 0 (0c).
- Roof:** The roof is labeled "GF Ceiling 2,607 (30c+ PLATE)".
- Structural Elements:** The facade is labeled "FACE BWK". A "FACE BWK PIER" is shown at the base, and an "AIR COND. CONDENSOR" is indicated on the wall.
- Windows:** There are two window units. The first unit has a height of 27c and a width of 13c, with a "6c" section at the bottom. The second unit has a height of 27c and a width of 21c.
- Materials:** The walls are labeled "FACE BWK".

**Right Section:**

- Dimensions:** The total height is 5,369 units. The ground level is marked as GF 0 (0c).
- Roof:** The roof is labeled "EXPOSED TIMBER PERIMETER BEAM (PAINTED)".
- Structural Elements:** The facade is labeled "FACE BWK". A "DOUBLE ANGLES & BWK OVER" is shown above the window unit. A "TIMBER POST" is indicated on the wall.
- Windows:** There is one window unit with a height of 27c and a width of 19.0c, with a "28c" section at the bottom.
- Materials:** The walls are labeled "FACE BWK". The roof is labeled "EXPOSED TIMBER PERIMETER BEAM (PAINTED)".
- Other Details:** A "COMB. GAS/ELEC METERBOX" is shown on the wall, and a "CONTRASTING RENDERED BWK PIER" is indicated at the base.

**Legend:**

- 27c: Window height
- 13c: Window width
- 6c: Window section
- 21c: Window width
- 19.0c: Window width
- 28c: Window section
- 7c: Window section
- 33c: Window section
- 27c: Window height
- 13c: Window width
- 6c: Window section
- 21c: Window width
- 19.0c: Window width
- 28c: Window section
- 7c: Window section
- 33c: Window section

Architectural elevation drawing of a building facade. The drawing includes the following annotations and dimensions:

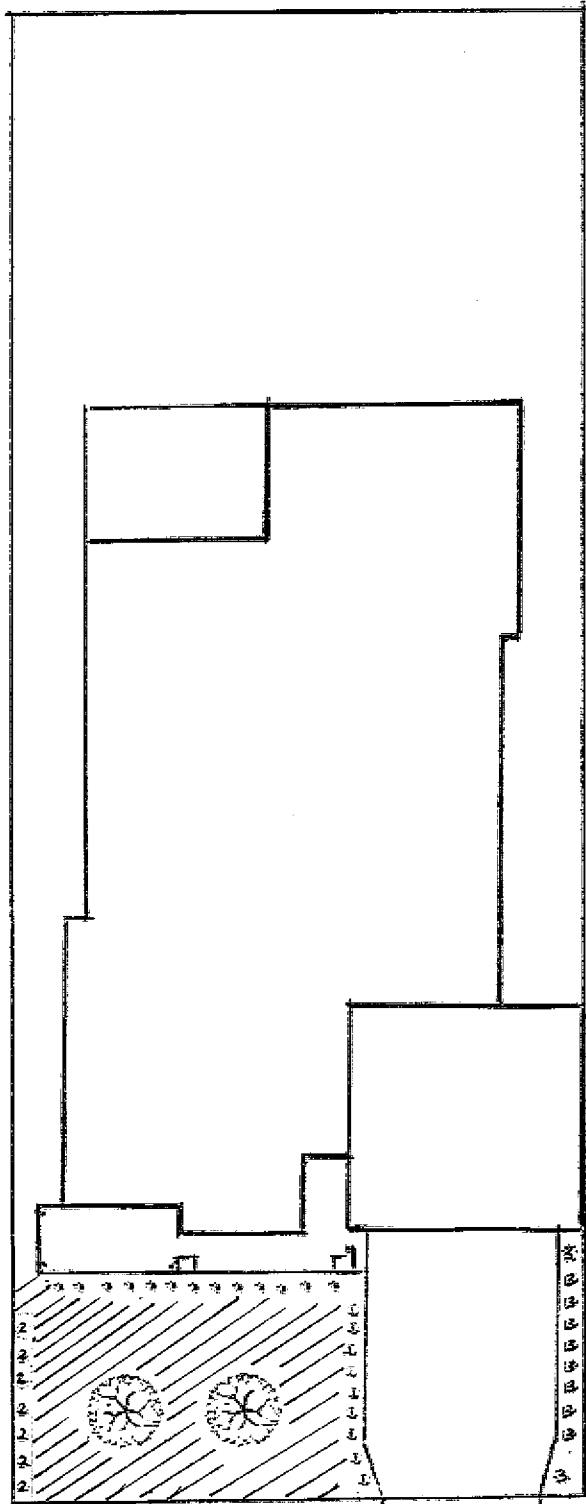
- Vertical Dimensions:**
  - Overall height: 5.609
  - GF Ceiling 2,607 (30c+ PLATE)
  - GF 0 (0c)
- Horizontal Dimensions and Markers:**
  - 33c (at roofline)
  - 28c (vertical offset)
  - 31c G.O.W. (Ground Overlap)
  - 27c (multiple locations)
  - 23c (vertical offset)
  - 14c (vertical offset)
  - 11.0c (vertical offset)
  - 10c (vertical offset)
  - 9c (vertical offset)
  - 25c (vertical offset)
  - 19.0c (vertical offset)
  - 4c (at base)
- Structural and Material Callouts:**
  - CONTRASTING RENDERED BWK PIER
  - T-BAR
  - APPROX. LOCATION OF NEIGHBOUR'S PARAPET WALL
  - FACE BWK (Facing Brickwork)
  - TOP OF FOOTINGS @ -4c
  - SEMI-RECESSED INSTANT GAS HWU (Heating Unit)
  - OBS (Observation window)
  - NGL (Natural Ground Level)
- Window and Door Details:**
  - Windows with labels: 27c, 19.0c, 22c, 27c, 27c, 23c, 14c, 11.0c, 10c, 9c, 25c.
  - Labels: S (Single), F (Fixed), OBS (Observation).

CLIENT: <b>WARD</b>	PROJECT No. <b>14449</b>	<b>'BATALI'</b>	
		<b>ELEVATIONS</b>	
ADDRESS: LOT 1526 (#13) BATH STREET <b>WEMBLEY</b> TOWN OF CAMBRIDGE	SHEET No. <b>3 of 12</b>	DRAWN: SA SCALE: 1:100	DATE: DEC' 20 CHK: MF

- FOR ODD COURSE HEIGHT WINDOW USE 2c HIGH FINISHING SILL BRICK.

- FOR EVEN COURSE HEIGHT WINDOW USE 1c HIGH SOLID LONGREACH SILL BRICK

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- COPYRIGHT - THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF THE BUILDER AND MUST NOT BE GIVEN, LENT, RESOLD OR OTHERWISE DISPOSED OF OR COPIED WITHOUT THE PERMISSION IN WRITING OF THE BUILDER



## PLANT LEGEND

Lagerstroemia Indica



Liriope



Westringia Fruticosa



Salvia Rosmarinus



Casuarina Glauca



Sir Walter Buffalo Grass



**BATH STREET**

LANDSCAPING PLAN

SCALE 1:200



TOWN OF CAMBRIDGE  
AMENDED PLAN  
**RECEIVED**  
15 January 2021







**DEVELOPMENT  
COMMITTEE MEETING**

**TUESDAY 16 MARCH 2020**

**ATTACHMENT 3 OF 4 TO  
ITEM DV21.11**

**SITE PHOTOS**





Image 1: View in a south easterly direction of the subject site's frontage to Bath Street.



Image 2: View in a southerly direction of the subject site's frontage to Bath Street.



Image 3: Rear view of the subject site from the rear right-of-way (Lafferty Lane).





Town of  
**Cambridge**

**DEVELOPMENT  
COMMITTEE MEETING**

**TUESDAY 16 MARCH 2020**

**ATTACHMENT 4 OF 4 TO ITEM  
DV21.11**

**APPLICANT'S COMMENTS**

Chief Executive Officer  
Town of Cambridge  
PO Box 15  
Floreat WA 6014

Dear Sir

Development application – M J and G Ward Lot 1526 - 13 Bath Street Wembley

We are seeking approval to build a new residence on our land at 13 Bath Street in Wembley.

Since purchasing in 1995, we have maintained this property as our principle residence whilst continuing our primary production business. Current government building grants provide us with the opportunity to rebuild our dwelling, upgrading to contemporary aesthetic, thus improving our street appeal in alignment with neighbouring properties. Our house plan includes a garage with access from Bath Street, as is the case for all other homes in this street and we request that approval for this be granted for the following reasons.

Parking is restricted in Bath Street with no parking signage on our side of the street. Access from Bath Street will allow family visitors to pull into our driveway off the street leaving street clear.

The rear laneway is narrow and not suitable for our general use, especially with regard to our work vehicles and trailers. To access our block, which is centrally located along Lafferty Lane, maneuvering work vehicles through the sharp corners off adjoining narrow laneways is extremely challenging, escalating the probability of property damage.

There is no lighting in laneway which presents safety concerns when arriving home at night. However, in contrast, there is a streetlight on our front verge in Bath Street.

We have amended our house plan to comply with Local Planning Policy 3.2:1 abutting our garage wall on an existing boundary wall at No 15. The owners of No 15 Bath Street have indicated to us they have no objection to this proposal.

Pedestrian flow will not be impeded by placement of a crossover as there is no footpath on our side of Bath Street. Every house on our side of the street has a crossover.

We believe the proposed dwelling will harmoniously blend with the recent new builds and renovated homes in Bath Street. We look forward to your approval, in this matter.

Yours sincerely

The block contains two handwritten signatures in black ink. The first signature is more stylized and appears to be 'Murray', while the second is more legible and appears to be 'Gail'. They are written side-by-side.

Murray and Gail Ward