



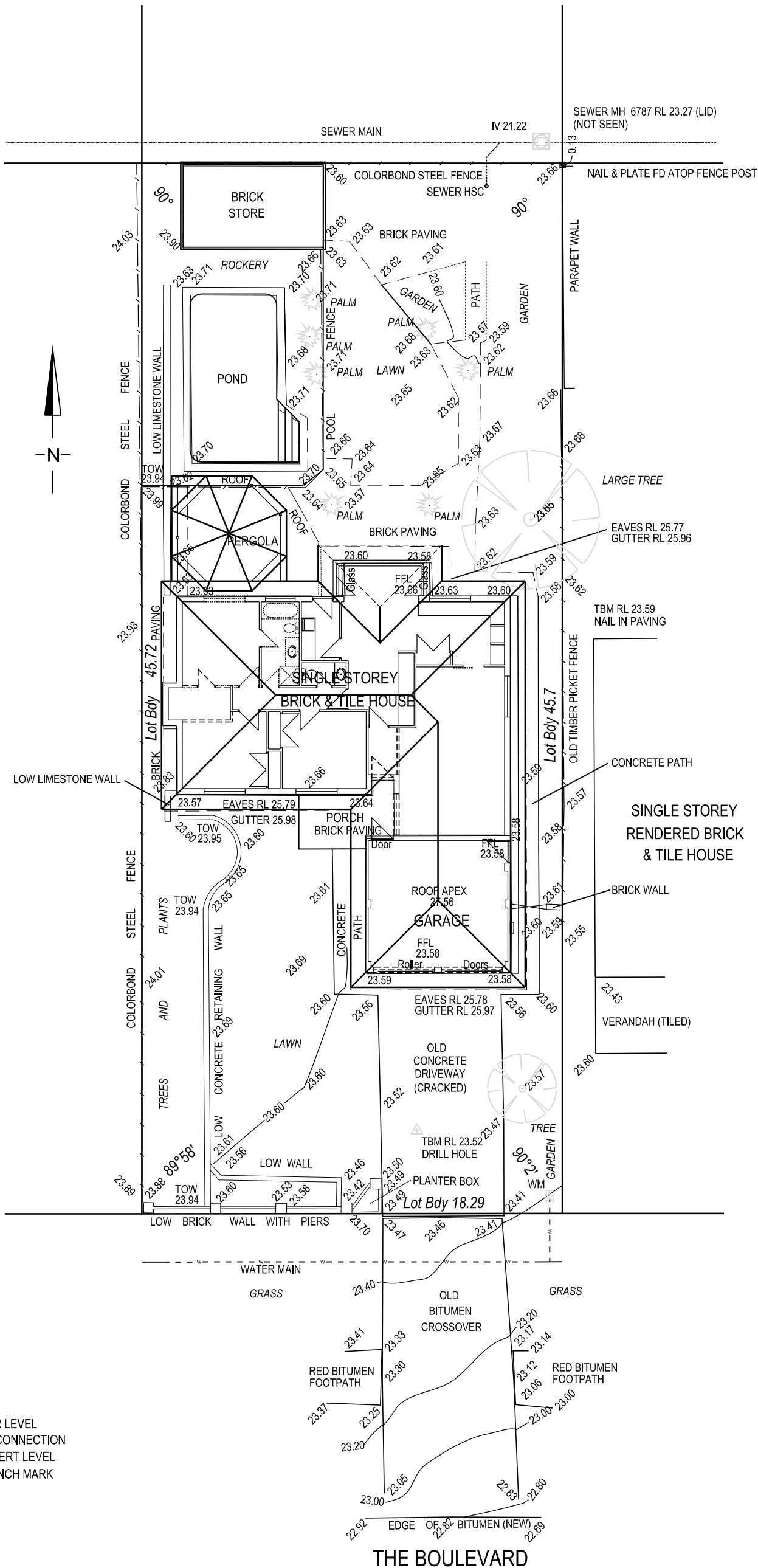
Town of  
**Cambridge**

**DEVELOPMENT  
COMMITTEE MEETING**

**TUESDAY 14 DECEMBER 2021**

**ATTACHMENT 1 TO ITEM DV21.109**

**DEVELOPMENT PLANS FOR NO. 78 THE BOULEVARD,  
FLOREAT**



**TOWN OF CAMBRIDGE  
 AMENDED PLAN  
 RECEIVED  
 19 NOV 2021**

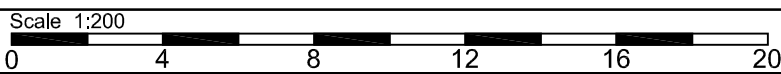
**LEGEND**

- FFL FINISHED FLOOR LEVEL
- HSC SEWER HOUSE CONNECTION
- IV SEWER PIPE INVERT LEVEL
- TBM TEMPORARY BENCH MARK
- TOW TOP OF WALL
- WM WATER METER

1 EXISTING SURVEY  
 1:200

- H 13-NOV 21 FRONT PIERS
- G 20-OCT 21 2 STOREY ANC ACC
- T 20-AUG 21 DETAIL ADDED
- E 01-JULY 21 PLANNING APPLICATION
- D 01-APR 21 CARPORT RELOCATION
- C 10-APR 20 CARPORT RELOCATION
- B 19-JAN 20 STORE / INT. AMENDS
- A 02-JAN 20 INITIAL PRES.

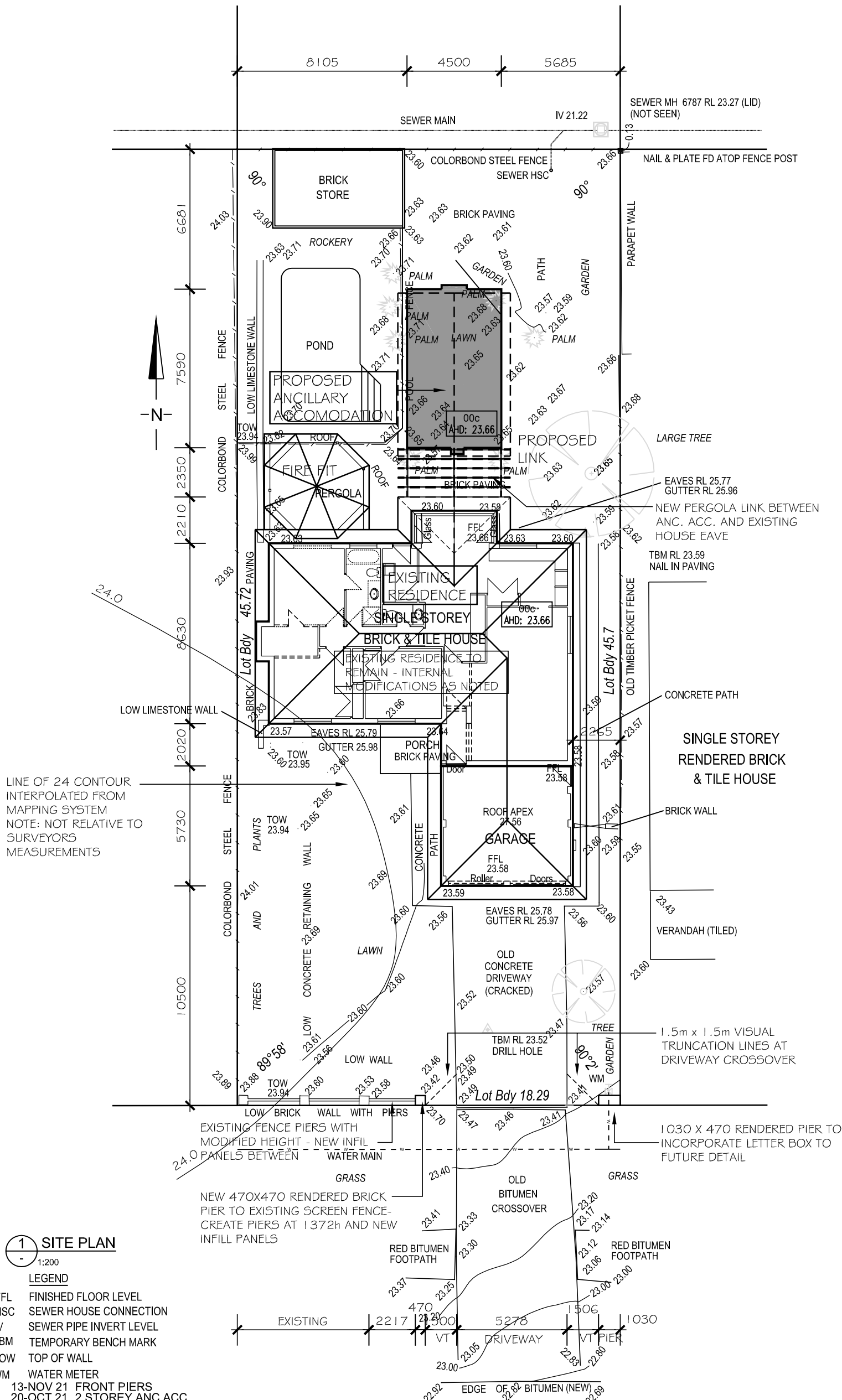
THE BOULEVARD



CLIENT		
CLIENT		
BUILDER		
WITNESS		
 378 Boulonnais Drive, Brigadoon WA 6069 Mob: 042 888 5545		
CLIENT & SITE LOCATION		
<b>COMBES RESIDENCE</b> LOT 625 No 78 THE BOULEVARDE FLOREAT WA 6014		
JOB No. 064_COM	DATE 22 APR 2021	DRAWN SJH
DRAWING TITLE		
<b>EXISTING SURVEY</b>		
SCALE SHOWN	DRAWING No.	REV.
A3	C1	H

**AREAS**

SITE AREA	835m <sup>2</sup>
EXISTING RESIDENCE	181.58m <sup>2</sup>
DEMOLITION	00.00m <sup>2</sup>
REMAINDER	181.58m <sup>2</sup>
NEW ANCILLARY GRND	34.33m <sup>2</sup>
NEW ANCILLARY FIRST	34.15m <sup>2</sup>
<b>TOTAL</b>	<b>68.48m<sup>2</sup></b>
<b>GRAND TOTAL</b>	<b>250.06m<sup>2</sup></b>
TOTAL SITE COVERAGE	29.94%



LINE OF 24 CONTOUR INTERPOLATED FROM MAPPING SYSTEM  
NOTE: NOT RELATIVE TO SURVEYORS MEASUREMENTS

**TOWN OF CAMBRIDGE  
AMENDED PLAN  
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**1 SITE PLAN**

1:200

**LEGEND**

- FFL FINISHED FLOOR LEVEL
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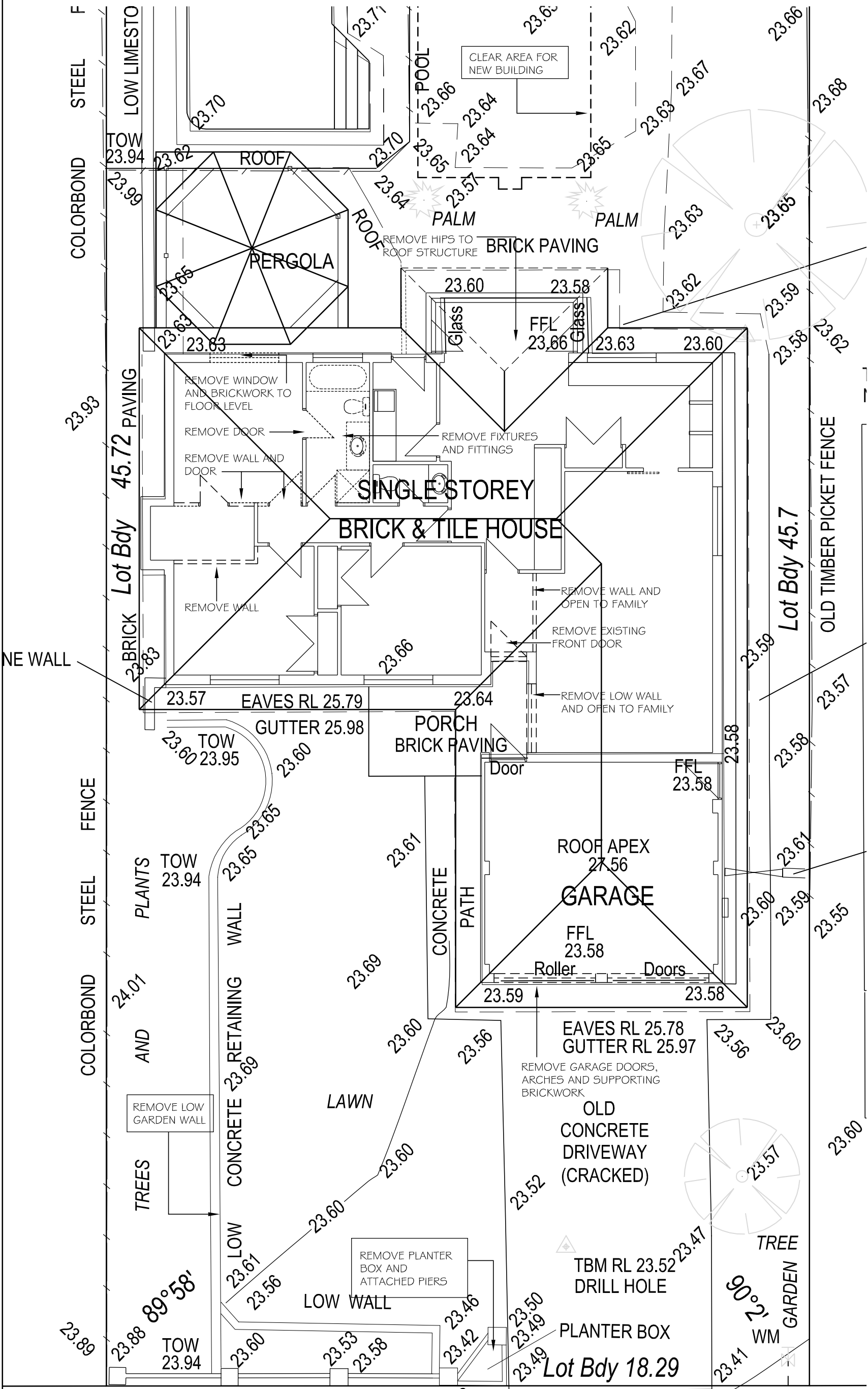
**THE BOULEVARD**

Scale 1:200



CLIENT	CLIENT	CLIENT
BUILDER	WITNESS	
378 Boulonnais Drive, Brigadoon WA 6069 Mob: 042 888 5545		
CLIENT & SITE LOCATION <b>COMBES RESIDENCE</b> LOT 625 No 78 THE BOULEVARDE FLOREAT WA 6014		
JOB No. 064_COM	DATE 22 APR 2021	DRAWN SJH
DRAWING TITLE <b>SITE PLAN</b>		
SCALE SHOWN	DRAWING No. <b>C2</b>	REV. <b>H</b>
DOC. SIZE A3		

REV.No	DATE	AMENDMENTS



- DEMOLITION NOTES:
1. ALL WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH APPROVED DOCUMENTS AND APPROVAL CONDITIONS BY LOCAL AUTHORITY, AND THE APPROVED CONSERVATION PLAN.
  2. ALL WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH WORKSAFE PRACTICES & OTHER CODES, REGULATIONS, STANDARDS, ETC.
  3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH OTHER DRAWINGS & DOCUMENTS RELATING TO THIS PROJECT.
  4. BUILDER TO CHECK ALL ELEMENTS FOR STABILITY, STRUCTURAL STATUS, LOAD BEARING PROPERTIES & SAFETY ISSUES BEFORE REMOVAL/DEMOLITION OF SUCH ELEMENTS.
  5. ALL TIMBERS ARE TO BE CHECKED FOR TERMITE INFESTATION. BUILDER TO ERADICATE ALL TERMITES BEFORE DEMOLITION COMMENCES OR IN SEQUENCE RECOMMENDED BY TERMITE CONTROL CONSULTANT.
  6. ALL AREAS OF MAKE GOOD TO BE TO THE SATISFACTION OF THE DESIGNER & STRUCT. ENGINEER.
  7. BUILDER TO PROTECT ALL INTENDED MATERIALS/ELEMENTS THAT ARE TO REMAIN FROM DAMAGE DURING DEMOLITION WORKS.
  8. BUILDER TO PROTECT ALL PROPERTY ON ADJACENT PROPERTIES.
  9. ALL (IF ANY) DAMAGE TO ELEMENTS THAT ARE TO REMAIN, OR ADJOINING PROPERTY, SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF THE DESIGNER & STRUCT. ENGINEER.

**TOWN OF CAMBRIDGE  
 AMENDED PLAN  
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 19 NOV 2021**

CLIENT
CLIENT
BUILDER
WITNESS



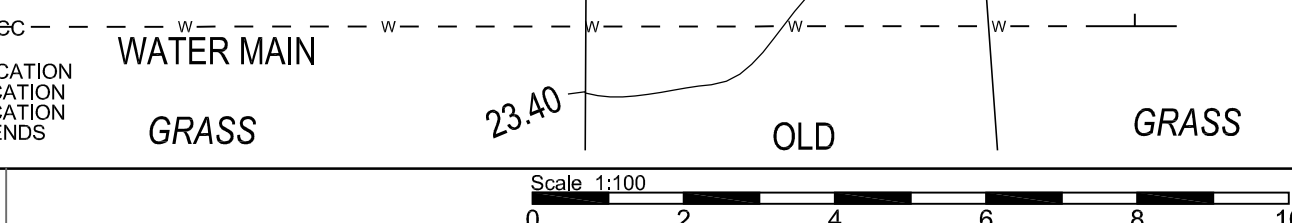
CLIENT & SITE LOCATION  
**COMBES RESIDENCE**  
 LOT 625 No 78 THE BOULEVARDE  
 FLOREAT WA 6014

JOB No. 064_COM	DATE 22 APR 2021	DRAWN SJH
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DRAWING TITLE  
**EXIST PLAN**

SCALE SHOWN	DRAWING No. <b>C3</b>	REV. <b>H</b>
DOC. SIZE A3		

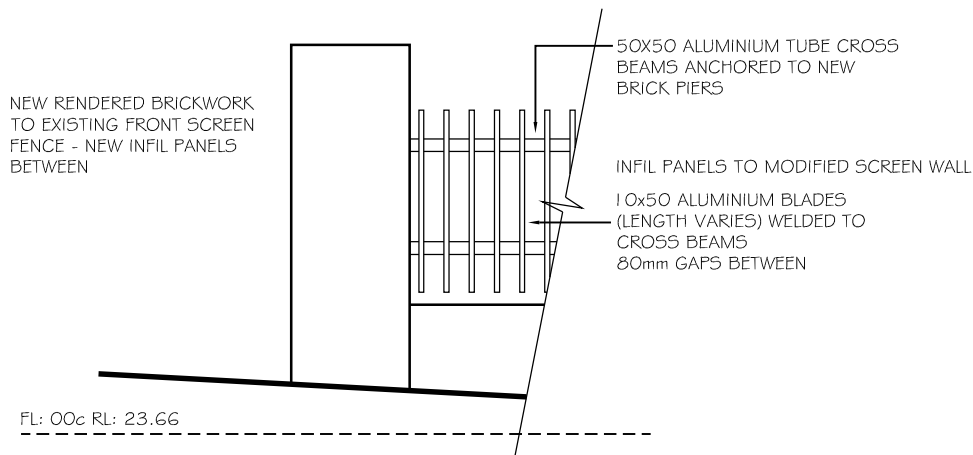
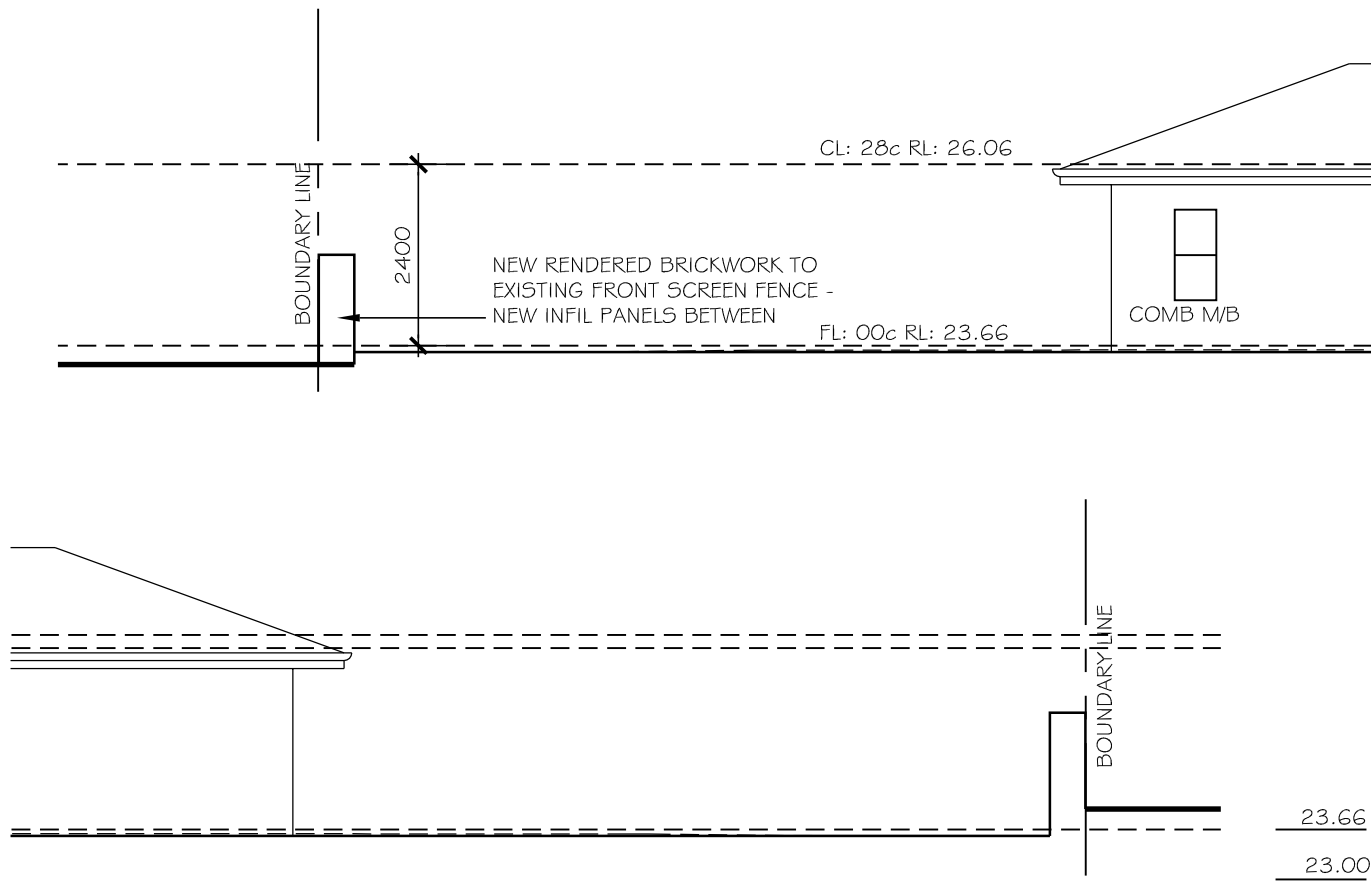
1	EXISTING PLAN
1:100	
H G T E D C B A	13-NOV 21 FRONT PIERS 20-OCT 21 2 STOREY ANCHOR 20-AUG 21 DETAIL ADDED 01-JULY 21 PLANNING APPLICATION 01-APR 21 CARPORT RELOCATION 10-APR 20 CARPORT RELOCATION 19-JAN 20 STORE / INT. AMENDS 02-JAN 20 INITIAL PRES.



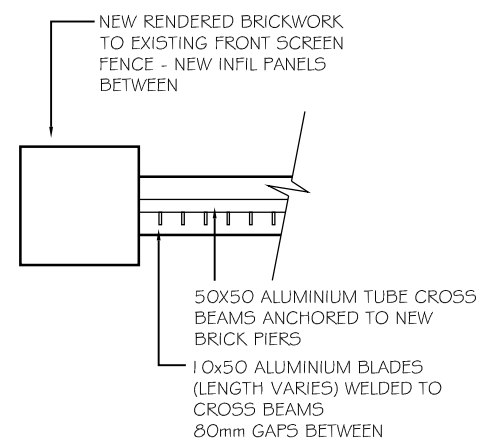
REV.No	DATE	AMENDMENTS

GENERAL NOTES:

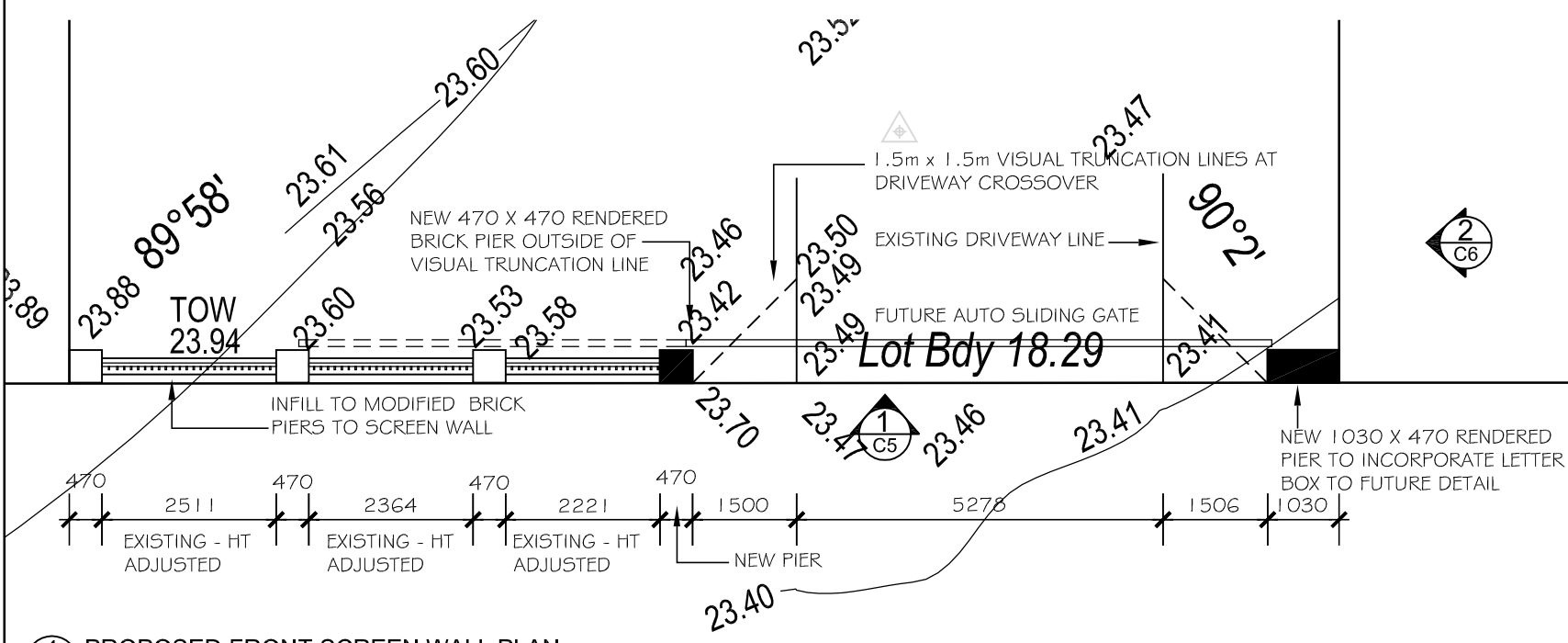
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2. TRADES SHALL CONFIRM ALL LEVELS AND BOUNDARY LINE LOCATIONS PRIOR TO ANY SHOP DRAWINGS OR SITE WORKS AND OR ORDERING OF MATERIALS, BE COMMENCED.
3. ONCE COMMENCING WORKS THE RELEVANT TRADES ACCEPT SITE CONDITIONS.
4. ALL LEVELS ARE FOR REFERENCE USE ONLY. ALL LEVELS ARE NOT TO A.H.D. (UNLESS OTHERWISE NOTED)
5. ALL WORKS SHALL BE IN ACCORDANCE WITH ALL RELEVANT CODES, STANDARDS, BY-LAWS, REGULATIONS, ETC.
6. ANY WORKS DOCUMENTED THAT DO NOT COMPLY WITH THE ABOVE, MUST BE BROUGHT TO THE ATTENTION OF THE DRAWING OFFICE PRIOR TO COMMENCEMENT OF ANY WORKS OR SHOP DRAWINGS AND OR ANY ORDERING OF MATERIALS.
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12. FLUME ALL INTERNAL EXHAUST FANS TO EXTERNAL AIR.
13. ALL SITE MEASUREMENTS ARE THE RESPONSIBILITY OF THE RELEVANT TRADE.
14. ALL SMOKE DETECTORS TO BE HARD-WIRED.



DETAIL ELEVATION  
1:25



DETAIL PLAN  
1:25



PROPOSED FRONT SCREEN WALL PLAN  
1:100

**TOWN OF CAMBRIDGE  
AMENDED PLAN  
RECEIVED  
19 NOV 2021**

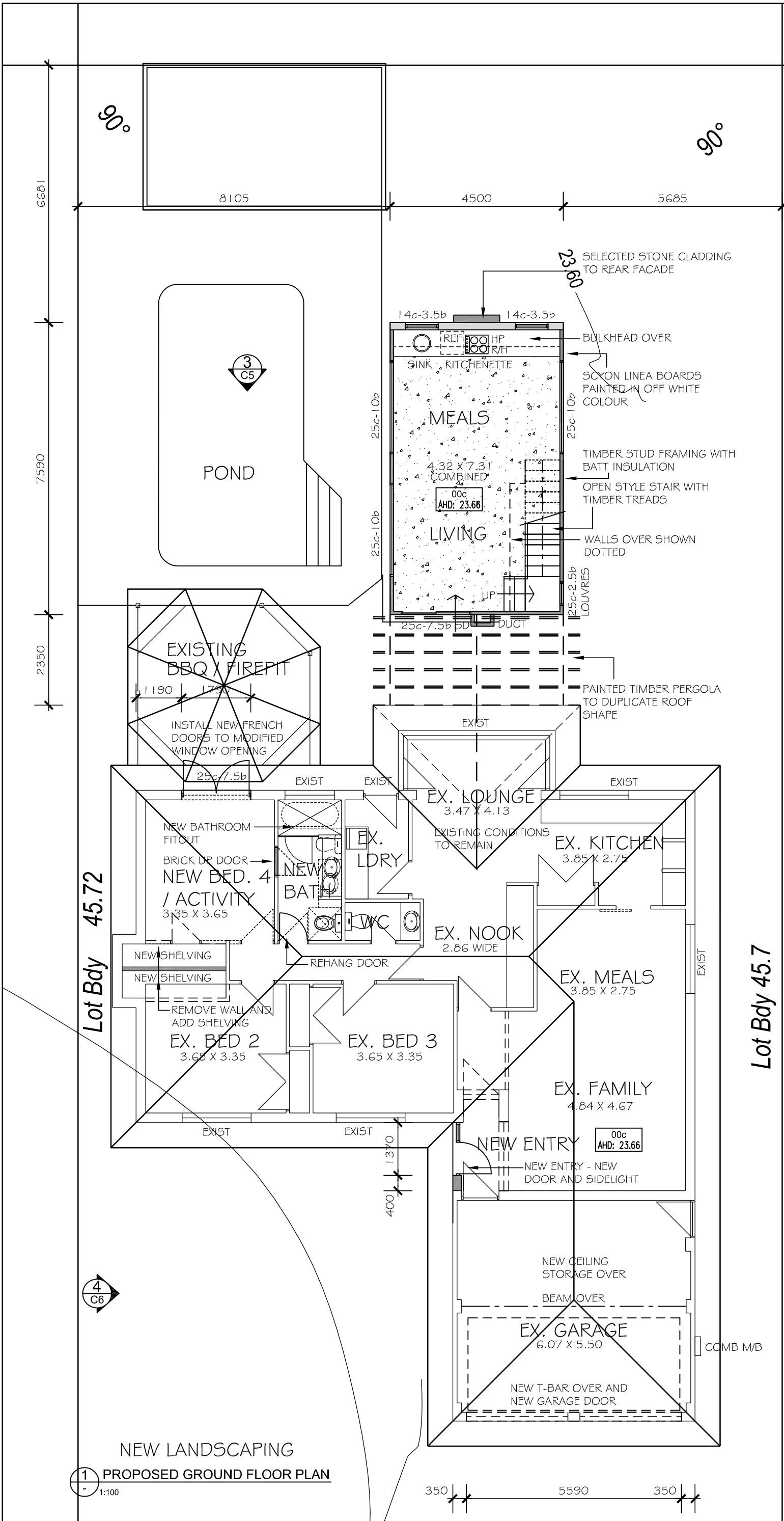
CLIENT
CLIENT
BUILDER
WITNESS
378 Boulonnais Drive, Brigadoon WA 6069 Mob: 042 888 5545

CLIENT & SITE LOCATION		
<b>COMBES RESIDENCE</b>		
LOT 625 No 78 THE BOULEVARDE FLOREAT WA 6014		
JOB No. 064_COM	DATE 22 APR 2021	DRAWN SJH
DRAWING TITLE		
<b>SCREEN WALL</b>		
SCALE SHOWN	DRAWING No. <b>C4</b>	REV. <b>H</b>
DOC. SIZE A3		

H	13-NOV 21	FRONT PIERS
G	20-OCT 21	2 STOREY ANC ACC
F	20-AUG 21	DETAIL ADDED
E	01-JULY 21	PLANNING APPLICATION
D	01-APR 21	CARPORT RELOCATION
C	10-APR 20	CARPORT RELOCATION
B	19-JAN 20	STORE / INT. AMENDS
A	02-JAN 20	INITIAL PRES.

REV.No	DATE	AMENDMENTS





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**TOWN OF CAMBRIDGE  
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 19 NOV 2021**

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REV.No	DATE	AMENDMENTS

CLIENT
CLIENT
BUILDER
WITNESS



378 Boulonnais Drive, Brigadoon WA 6069  
 Mob: 042 888 5545

CLIENT & SITE LOCATION  
**COMBES RESIDENCE**  
 LOT 625 No 78 THE BOULEVARDE  
**FLOREAT WA 6014**

JOB No.	DATE	DRAWN
064_COM	22 APR 2021	SJH

DRAWING TITLE  
**PROPOSED PLAN**

SCALE	DRAWING No.	REV.
SHOWN	C5	H
DOC. SIZE		
A3		



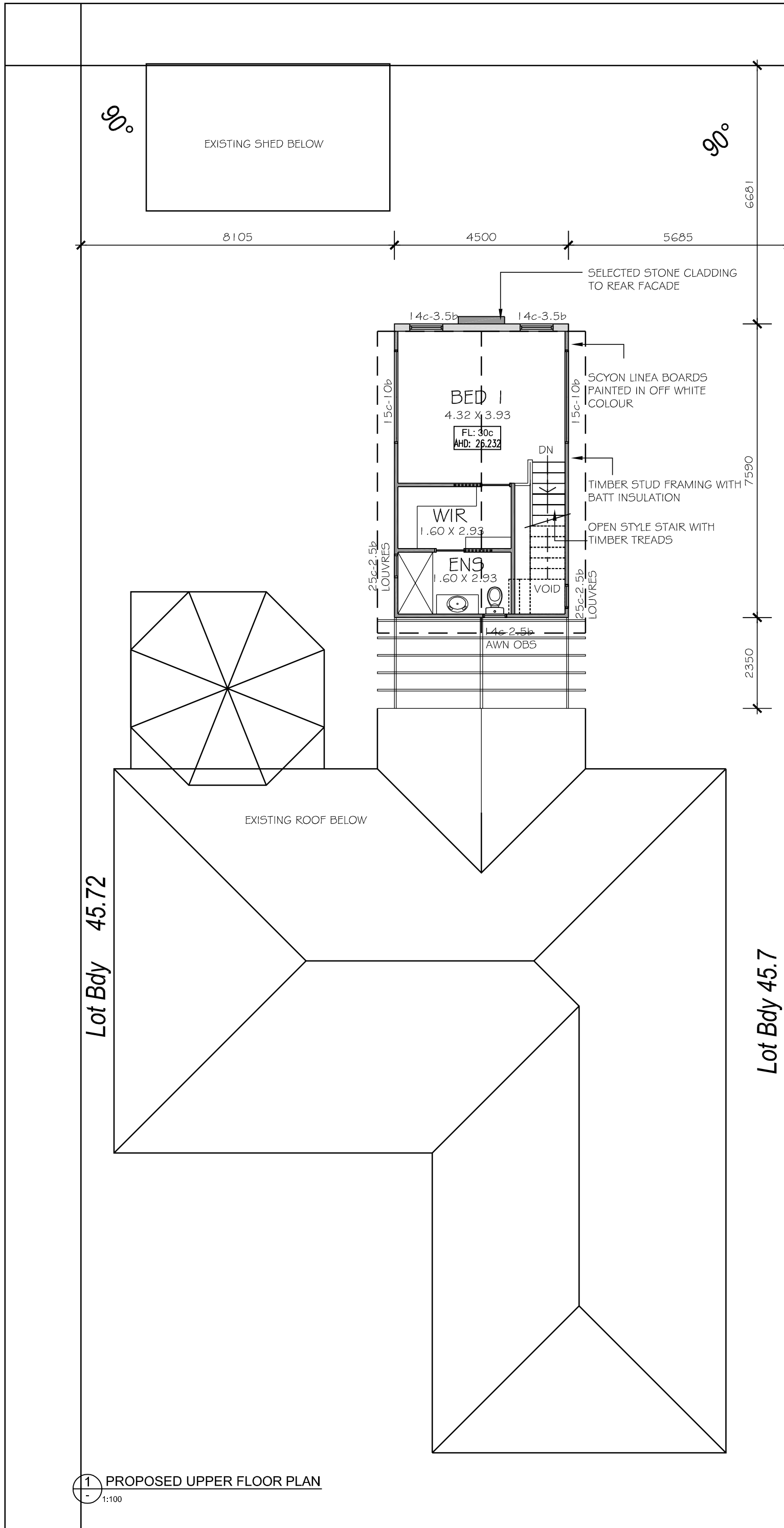
Lot Bdy 45.72

Lot Bdy 45.7

1 PROPOSED GROUND FLOOR PLAN  
 1:100

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**TOWN OF CAMBRIDGE  
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19 NOV 2021**

H G F E D C B A	13-NOV 21 FRONT PIERS 20-OCT 21 2 STOREY ANC ACC 20-AUG 21 DETAIL ADDED 01-JULY 21 PLANNING APPLICATION 01-APR 21 CARPORT RELOCATION 10-APR 20 CARPORT RELOCATION 19-JAN 20 STORE / INT. AMENDS 02-JAN 20 INITIAL PRES.
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REV.No DATE AMENDMENTS

CLIENT
CLIENT
BUILDER
WITNESS

*Tread Lightly* DESIGN

378 Boulonnais Drive, Brigadoon WA 6069  
Mob: 042 888 5545

CLIENT & SITE LOCATION  
**COMBES RESIDENCE**  
LOT 625 No 78 THE BOULEVARDE  
**FLOREAT WA 6014**

JOB No. 064_COM	DATE 22 APR 2021	DRAWN SJH
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DRAWING TITLE  
**PROPOSED PLAN**

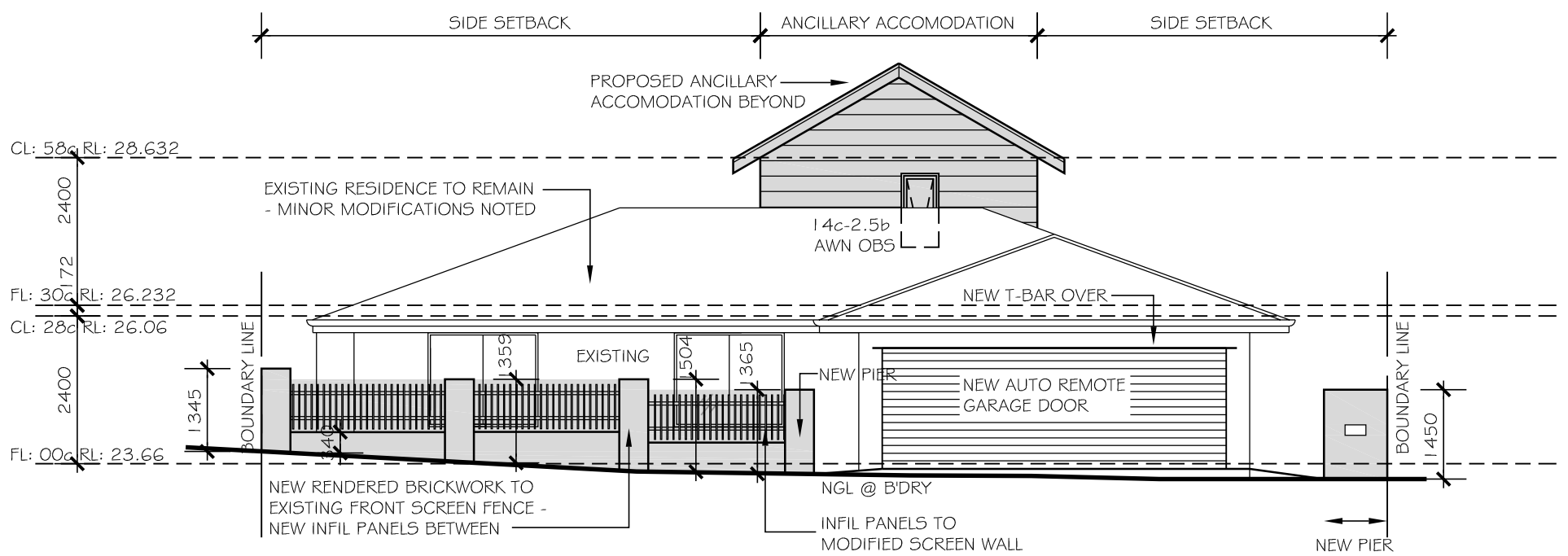
SCALE SHOWN	DRAWING No. <b>C6</b>	REV. <b>H</b>
DOC. SIZE A3		

1 PROPOSED UPPER FLOOR PLAN  
1:100

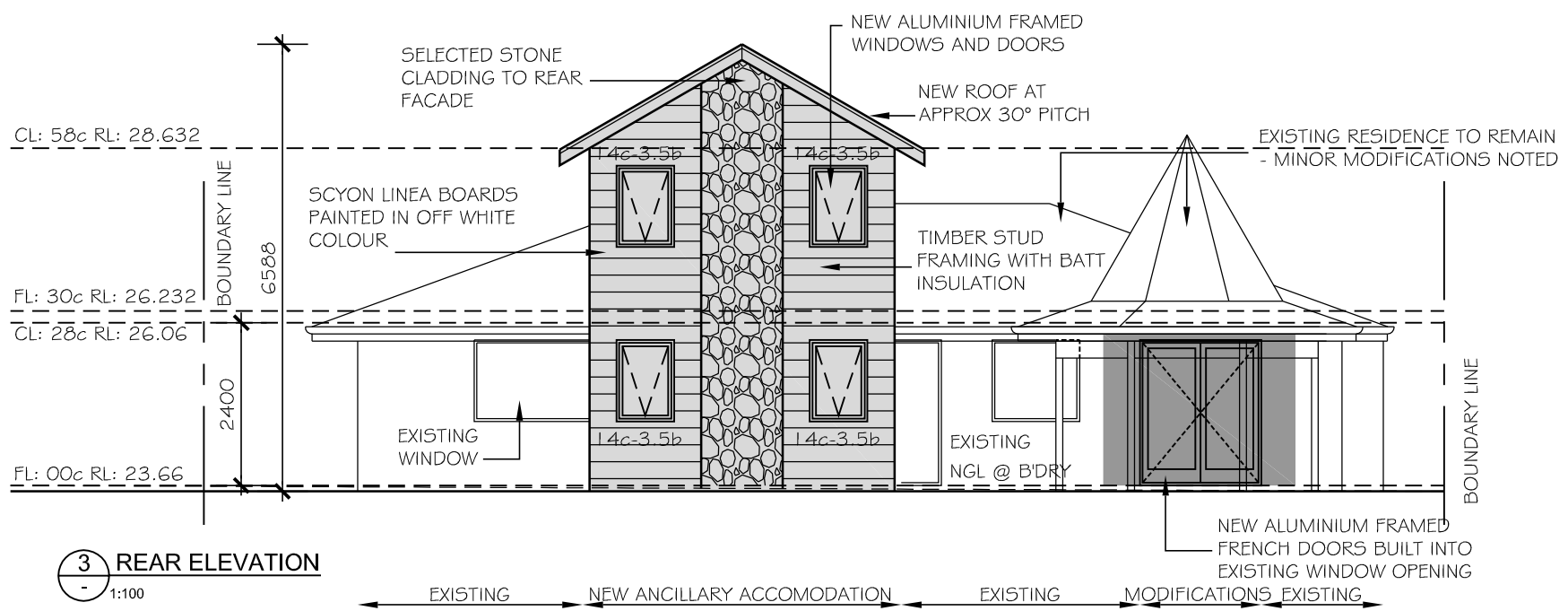


Lot Bdy 45.72

Lot Bdy 45.7



**1 FRONT ELEVATION**  
1:100



**3 REAR ELEVATION**  
1:100

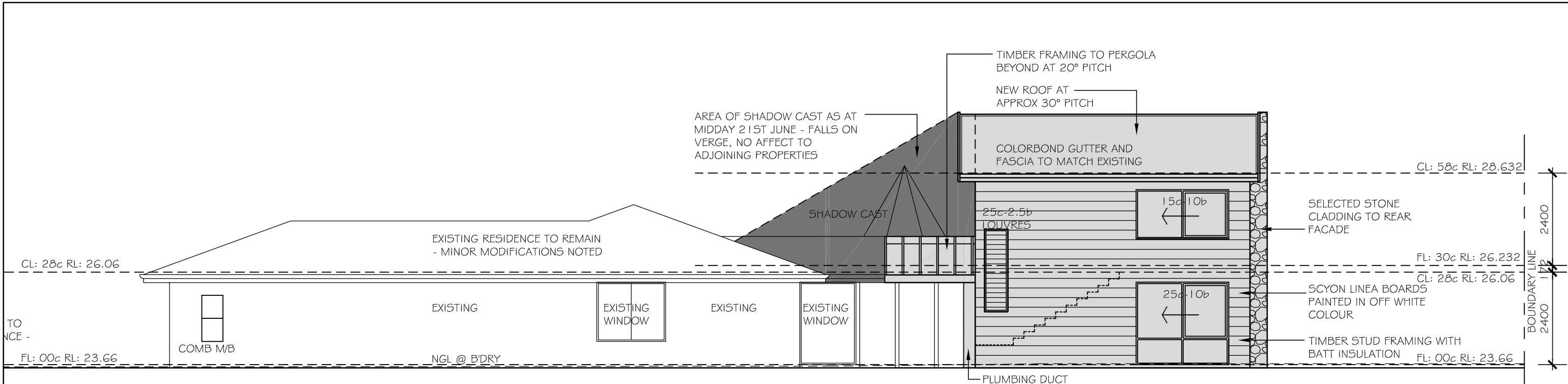
CLIENT		
CLIENT		
BUILDER		
WITNESS		
 378 Boulonnais Drive, Brigadoon WA 6069 Mob: 042 888 5545		
CLIENT & SITE LOCATION		
<b>COMBES RESIDENCE</b>		
LOT 625 No 78 THE BOULEVARDE		
FLOREAT WA 6014		
JOB No.	DATE	DRAWN
064_COM	22 APR 2021	SJH
DRAWING TITLE		
<b>ELEVATIONS</b>		
SCALE	DRAWING No.	REV.
SHOWN	<b>C7</b>	<b>H</b>
DOC. SIZE	A3	

**TOWN OF CAMBRIDGE**  
**AMENDED PLAN**  
**RECEIVED**  
**19 NOV 2021**

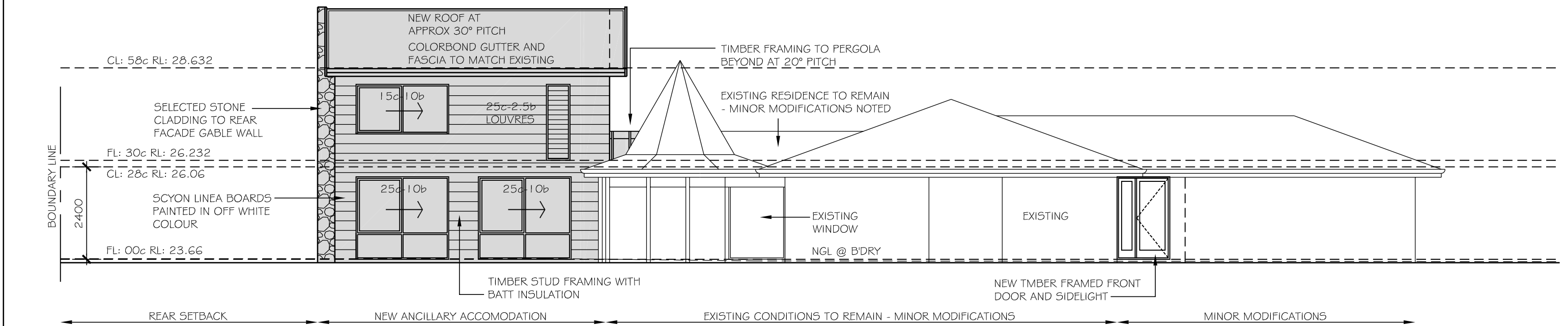
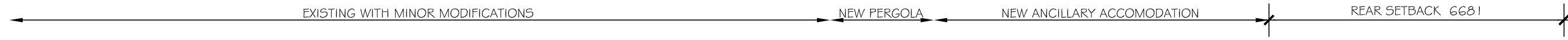
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A	02-JAN 20	INITIAL PRES.

REV.No	DATE	AMENDMENTS
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**2 SIDE ELEVATION**  
1:100



**4 SIDE ELEVATION**  
1:100



**TOWN OF CAMBRIDGE  
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19 NOV 2021**

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REV.No	DATE	AMENDMENTS



CLIENT	
CLIENT	
BUILDER	
WITNESS	

**Tread Lightly DESIGN**

378 Boulonnais Drive, Brigadoon WA 6069  
Mob: 042 888 5545

CLIENT & SITE LOCATION		
<b>COMBES RESIDENCE</b>		
LOT 625 No 78 THE BOULEVARDE FLOREAT WA 6014		
JOB No.	DATE	DRAWN
064_COM	22 APR 2021	SJH

DRAWING TITLE		
<b>ELEVATIONS</b>		
SCALE SHOWN	DRAWING No.	REV.
A3	<b>C8</b>	<b>H</b>



**DEVELOPMENT  
COMMITTEE MEETING**

**TUESDAY 14 DECEMBER 2021**

**ATTACHMENT 2 TO ITEM DV21.109**

**DEVELOPMENT PLANS FOR NO: 4 CLANMEL  
ROAD, FLOREAT**



# PROPOSED STORAGE ROOM

PROJECT ADDRESS: 4 Clanmel Rd, FLOREAT WA

Date: November 29,

**SITE INFORMATION**

ZONING R12.5

Lot Area: 809m<sup>2</sup>

Existing Built Area: 298m<sup>2</sup>

New Storage Studio: 46.55m<sup>2</sup>

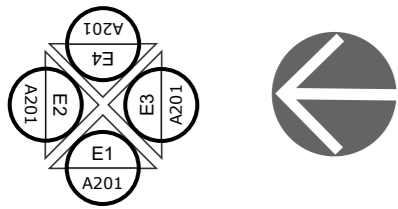
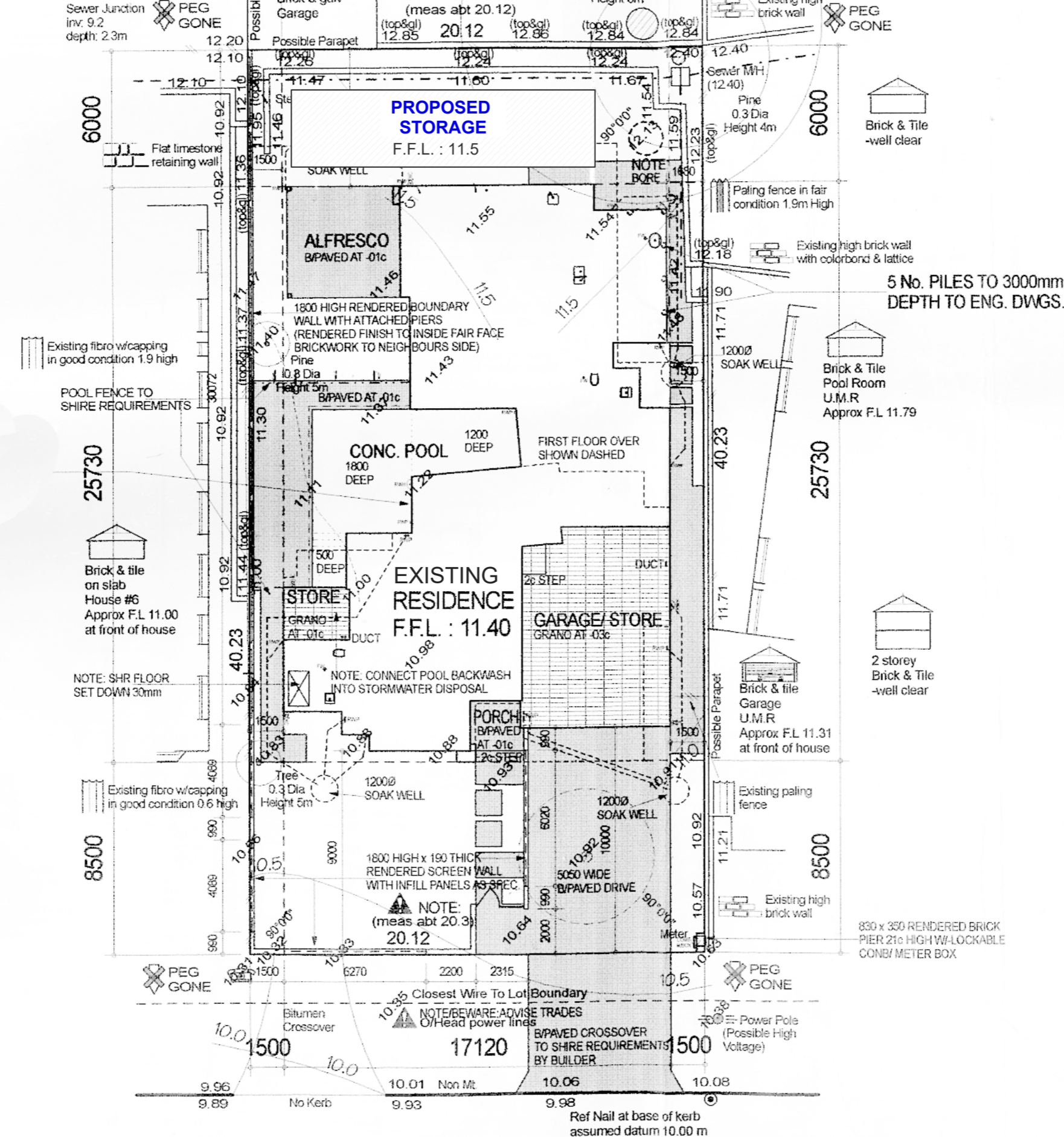
**Total: 344.55m<sup>2</sup>**

Site Coverage: 42.6%  
Open Space: 57.4% (min 55%)

**Overshadowing:**  
(max 50% of adjoining property)  
Area: 0

**NOTE:**  
Deep Sewer Junction.  
Check With Water Corporation  
BUILDER and PLUMBER check GRADE

Sewer Junction  
Inv. 9.2  
depth: 2.3m



**FORM HOMES**

website: formhomes.com.au  
phone: (08) 9468 0023  
email: sales@formhomes.com.au

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THESE PLANS, DESIGNS AND INTELLECTUAL CONTENT SHALL REMAIN THE PROPERTY OF THIS OFFICE AND MUST NOT BE GIVEN, LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE PERMISSION IN WRITING FROM THE DIRECTOR.

PROJECT NAME  
PROPOSED STORAGE ROOM

CLIENT  
J & R Davies

PROJECT ADDRESS  
4 Clannel Rd,  
FLOREAT WA

DATE MODIFIED  
November 29, 2021

PROJECT NO.  
J1066

DRAWN  
MK

CHECKED  
-

DRAWING TITLE  
Site Plan

SCALE 1 : 200 PAPER SIZE A3

PROJECT STAGE  
Concept Design

REV	DESCRIPTION	DD/MM/YY
A-5	Concept Plan	24/09/21
B-0	Issued for Pricing	28/09/21
C-1	Issued for Approval	29/11/21

DRAWING NUMBER

**A101**

REVISION C-1 INITIAL

**SITE INFORMATION**

ZONING R12.5  
 Lot Area: 809m<sup>2</sup>  
 Existing Built Area: 298m<sup>2</sup>  
 New Studio: 46.55m<sup>2</sup>  
**Total: 344.55m<sup>2</sup>**  
 Site Coverage: 42.6%  
 Open Space: 57.4% (min 55%)  
**Overshadowing:**  
 (max 50% of adjoining property)  
 Area: TBD



website: formhomes.com.au  
 phone: (08) 9468 0023  
 email: sales@formhomes.com.au

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PROJECT NAME  
**PROPOSED STORAGE ROOM**

CLIENT  
**J & R Davies**

PROJECT ADDRESS  
 4 Clannel Rd,  
 FLOREAT WA

DATE MODIFIED  
 November 29, 2021

PROJECT NO.  
 J1066

DRAWN  
 MK

CHECKED  
 -

DRAWING TITLE  
 Site/Floor Plan

SCALE 1 : 100 PAPER SIZE A3

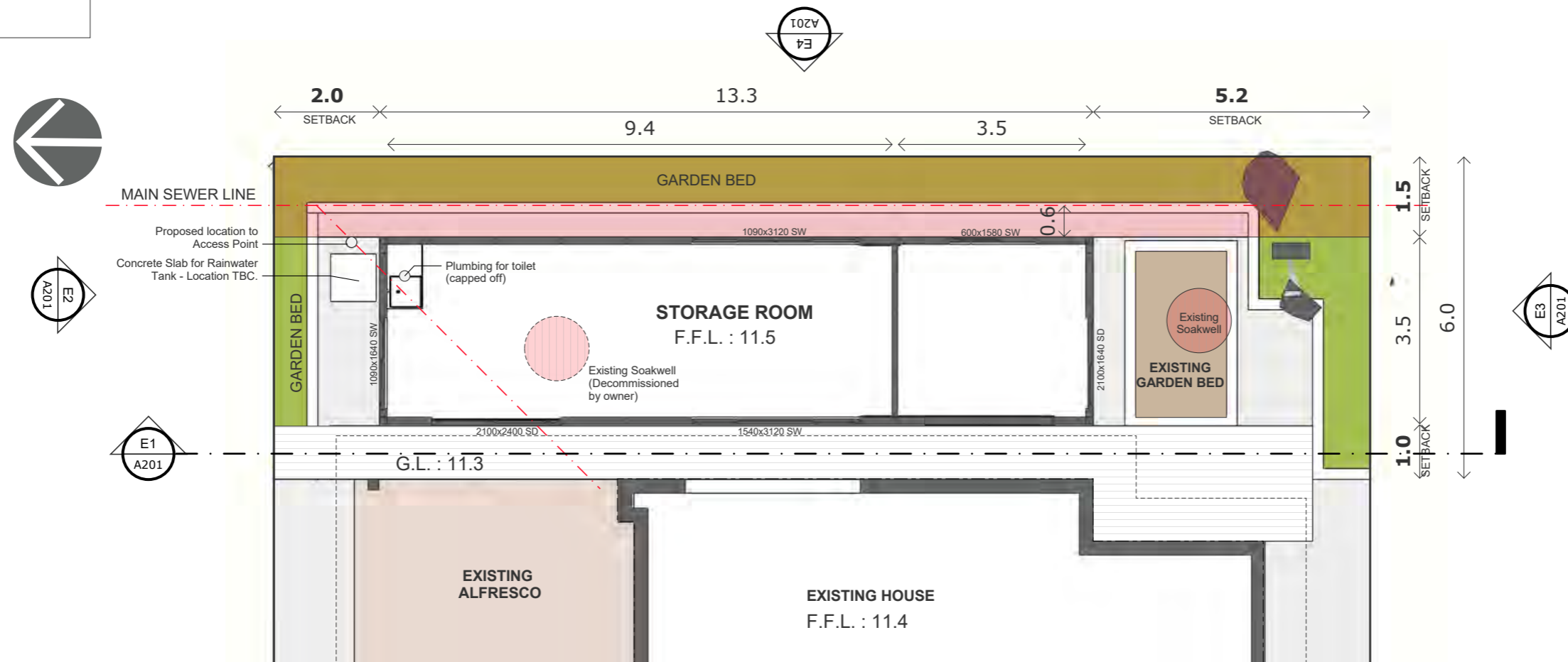
PROJECT STAGE  
 Concept Design

REV	DESCRIPTION	DD/MM/YY
A-5	Concept Plan	24/09/21
B-0	Issued for Pricing	28/09/21
C-1	Issued for Approval	29/11/21

DRAWING NUMBER

**A102**

REVISION C-1 INITIAL



**SITE INFORMATION**

ZONING R12.5  
 Lot Area: 809m<sup>2</sup>  
 Existing Built Area: 298m<sup>2</sup>  
 New Studio: 46.55m<sup>2</sup>  
**Total: 344.55m<sup>2</sup>**  
 Site Coverage: 42.6%  
 Open Space: 57.4% (min 55%)  
**Overshadowing:**  
 (max 50% of adjoining property)  
 Area: TBD



website: formhomes.com.au  
 phone: (08) 9468 0023  
 email: sales@formhomes.com.au

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PROJECT NAME  
**PROPOSED STORAGE ROOM**

CLIENT  
**J & R Davies**

PROJECT ADDRESS  
**4 Clanmel Rd,  
 FLOREAT WA**

DATE MODIFIED  
 November 29, 2021

PROJECT NO.  
 J1066

DRAWN  
 MK

CHECKED  
 -

DRAWING TITLE  
**Roof Plan**

SCALE 1 : 100      PAPER SIZE A3

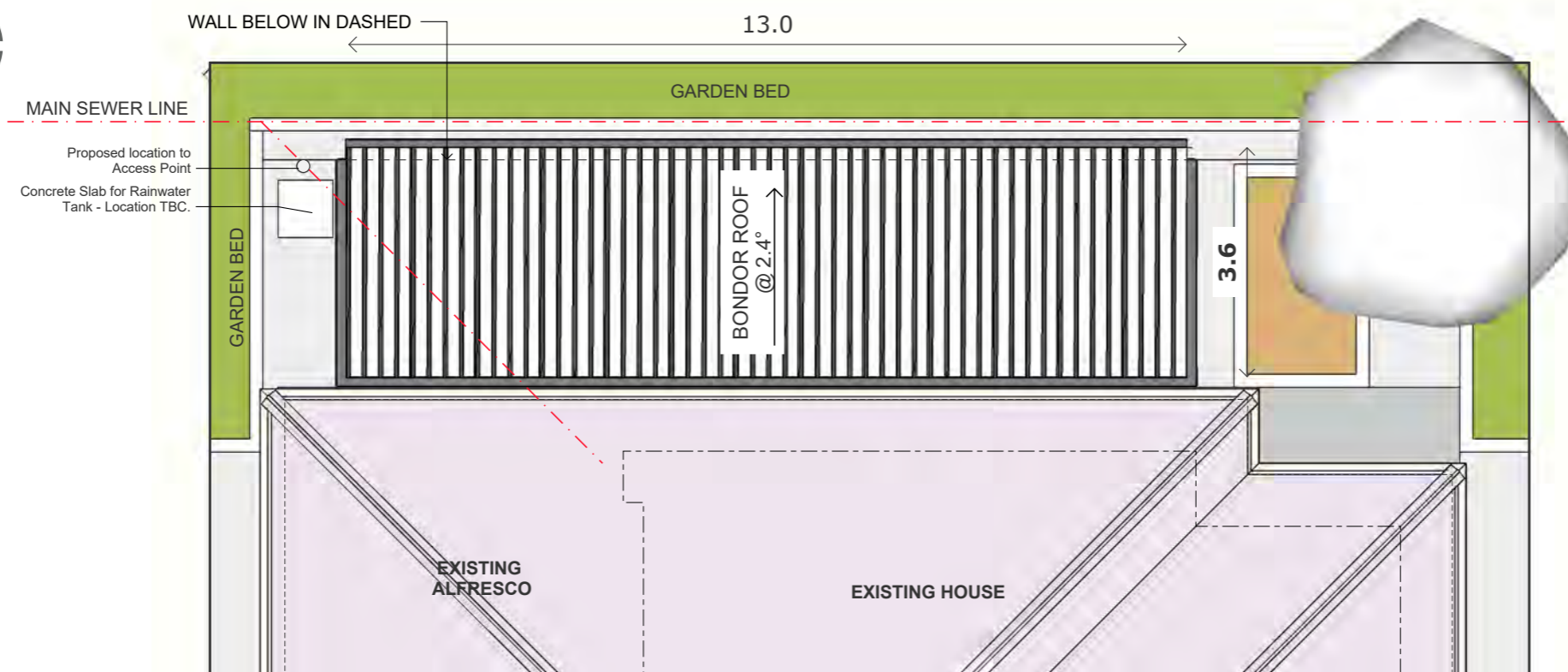
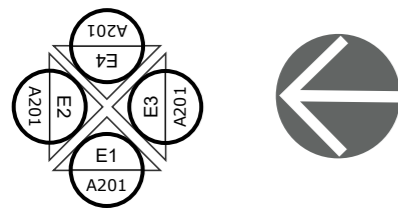
PROJECT STAGE  
 Concept Design

REV	DESCRIPTION	DD/MM/YY
A-5	Concept Plan	24/09/21
B-0	Issued for Pricing	28/09/21
C-1	Issued for Approval	29/11/21

DRAWING NUMBER

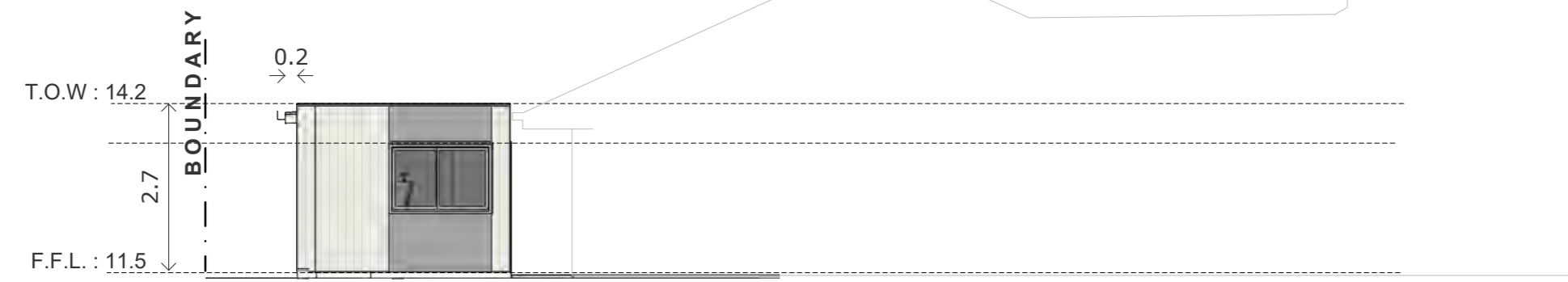
**A103**

REVISION C-1      INITIAL





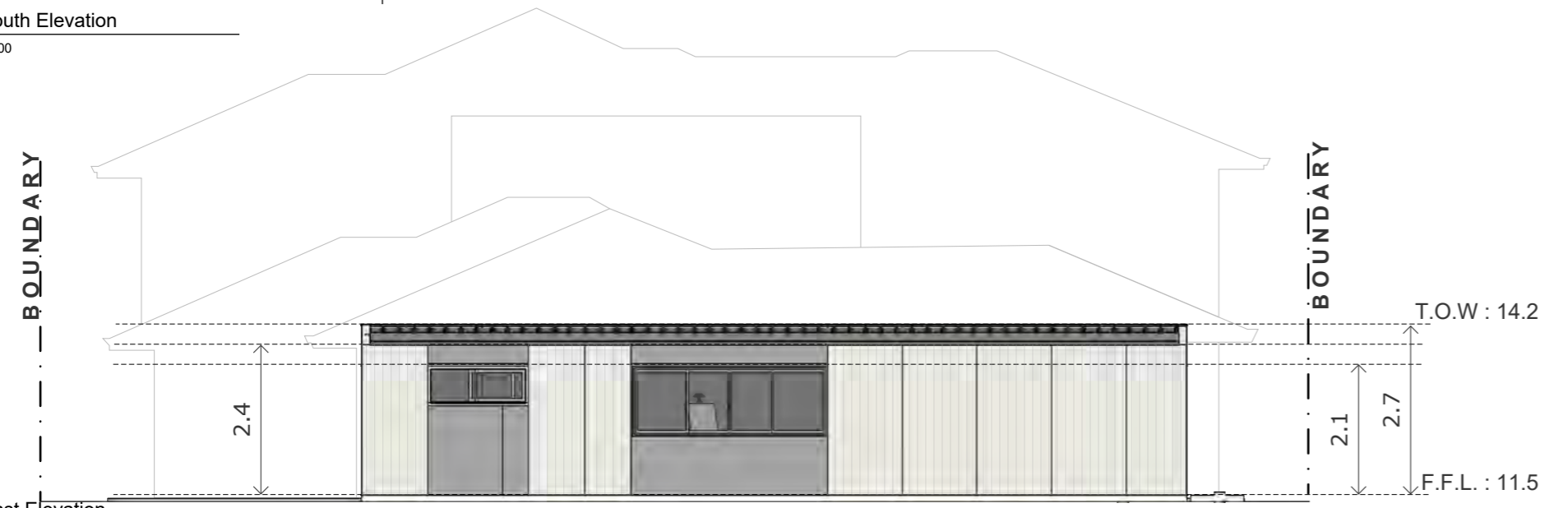
E1 West Elevation  
A201 1:100



E2 North Elevation  
A201 1:100



E3 South Elevation  
A201 1:100



E4 East Elevation  
A201 1:100



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PROJECT NAME  
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CLIENT  
J & R Davies

PROJECT ADDRESS  
4 Clanmel Rd,  
FLOREAT WA

DATE MODIFIED  
November 29, 2021

PROJECT NO.  
J1066

DRAWN  
MK

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-

DRAWING TITLE  
Elevations

SCALE 1 : 100 PAPER SIZE A3

PROJECT STAGE  
Concept Design

REV	DESCRIPTION	DD/MM/YY
A-5	Concept Plan	24/09/21
B-0	Issued for Pricing	28/09/21
C-1	Issued for Approval	29/11/21

DRAWING NUMBER  
**A201**

REVISION C-1 INITIAL

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PROJECT ADDRESS  
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FLOREAT WA

DATE MODIFIED  
November 29, 2021

PROJECT NO.  
J1066

DRAWN  
MK

CHECKED  
-

DRAWING TITLE  
Perspectives- Render

SCALE                      PAPER SIZE  
1 : 100                      A3

PROJECT STAGE  
Concept Design

REV	DESCRIPTION	DD/MM/YY
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C-1	Issued for Approval	29/11/21

DRAWING NUMBER

**A202**

REVISION                      INITIAL  
C-1



**E1** Perspective 1  
A202 NTS



**E2** Perspective 2  
A202 NTS



**E3** Perspective 3  
A202 NTS



**E4** Perspective 4  
A202 NTS

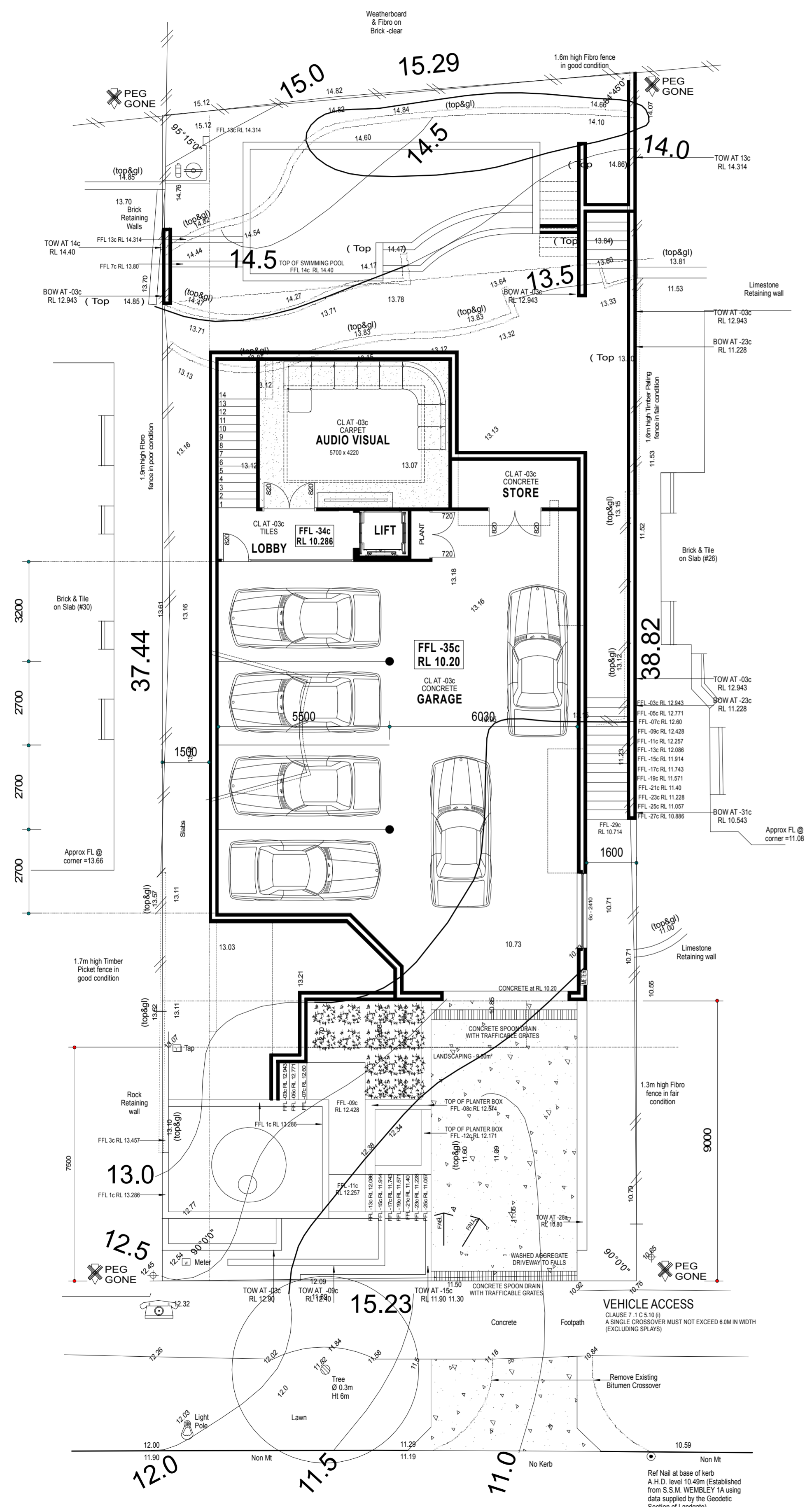
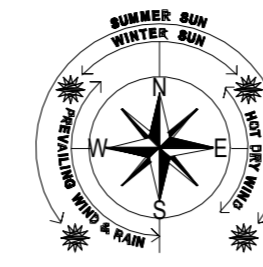


**DEVELOPMENT  
COMMITTEE MEETING**

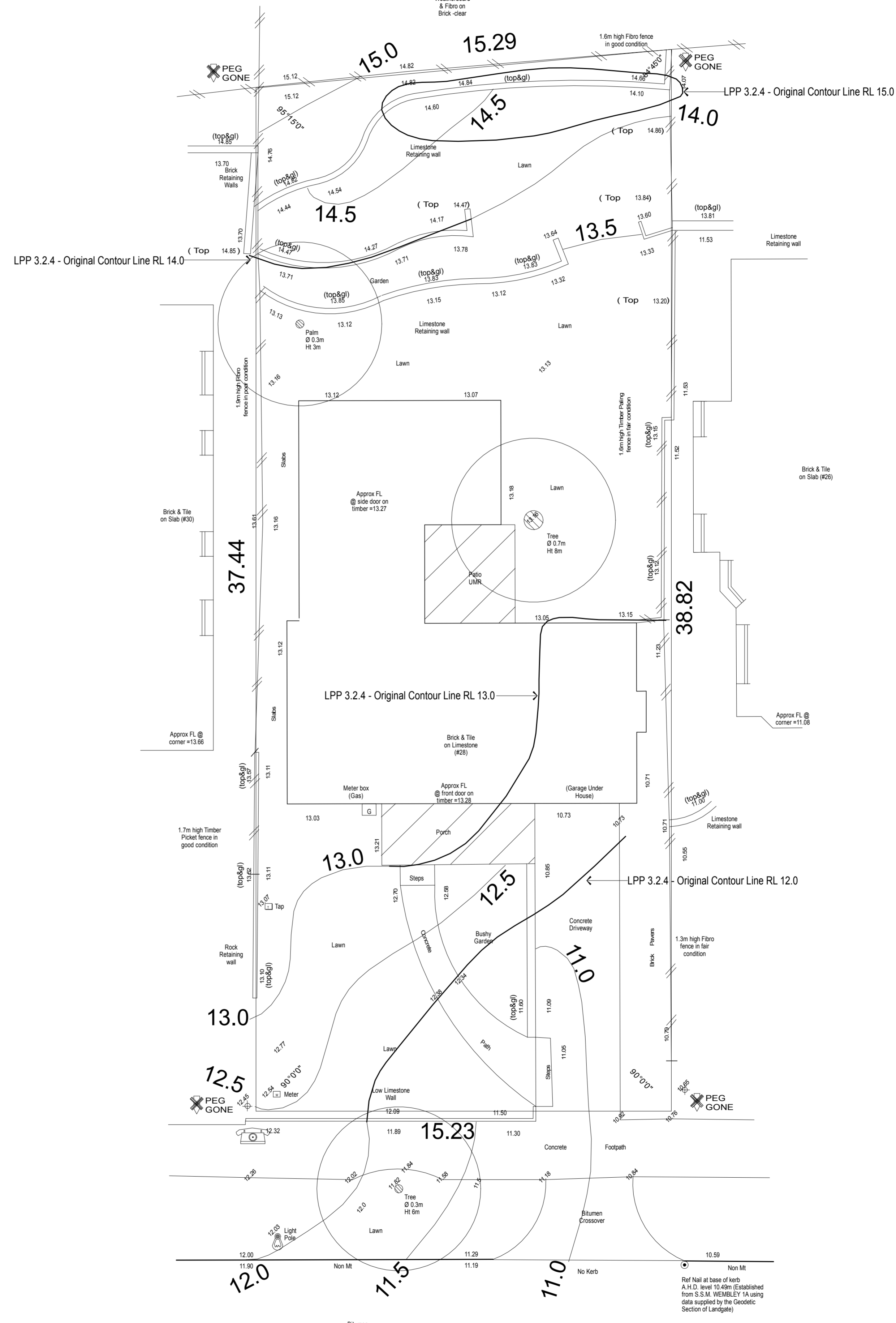
**TUESDAY 14 DECEMBER 2021**

**ATTACHMENT 3 TO ITEM DV21.109**

**DEVELOPMENT PLANS FOR NO: 28 BOSCOMBE  
AVENUE, CITY BEACH**



Boscombe Avenue



Boscombe Avenue

**TOWN OF CAMBRIDGE  
AMENDED PLAN  
RECEIVED  
25 NOV 2021**

**NSBD**  
NEIL SALVIA  
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Member 485 Building Designers Association WA (Inc)  
Accredited Member 1262 Building Designers Association WA (Inc)  
Member 154916 Housing Industry Association (HIA)

**PROPOSED RESIDENCE ON  
Lot 26 #28 BOSCOMBE WAY  
CITY BEACH**

FOR CLIENT: BRIAN GRAY

NO	DATE	AMENDMENT	DWG
A	-	-	-

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3. Do not scale from Drawings.  
4. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for.

This Project must comply with BAL 12.5 requirements of AS3959.2018 (Section 3 and Section 5)

ALL CONSTRUCTION TO COMPLY WITH AS3959.2018 SECTION 3 (GENERAL CONSTRUCTION) AND SECTION 5 (CONSTRUCTION FOR BUSHFIRE ATTACK LEVEL 12.5)

SUB-FLOOR TO BE ENCLOSED WITH WALLS COMPLYING WITH SPECIFICATION BELOW OR FLOORING TO BE NON-COMBUSTIBLE. BEAMERS, JOISTS AND FLOORING WITHIN 400mm OF THE GROUND TO BE NON-COMBUSTIBLE OR BUSHFIRE RESISTING TIMBER. (DELETE IF NOT APPLICABLE)

THE EXPOSED COMPONENTS OF EXTERNAL WALLS SHALL BE A NON-COMBUSTIBLE MATERIAL MIN. THICKNESS 90MM (Ground floor insert wall type)

FIBRE CEMENT SHEETING MIN. 8MM THICK WITH SARKING

STEEL SHEETING WITH SARKING

VENTS AND WEEP HOLES IN EXTERNAL WALLS SHALL BE SCREENED WITH A MESH WITH A MAXIMUM APERTURE OF 2mm MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM

ALL GLAZING SHALL BE TOUGHENED GLASS MINIMUM 5mm. FRAME MATERIAL Insert Frame Material (must be bushfire resisting timber or metal)

THE OPENABLE PORTIONS OF WINDOWS AND PORTIONS OF WINDOWS WITHIN 400mm OF GROUND, DECKS OR ROOFS LESS THAN 18° PITCH, SHALL BE SCREENED WITH A MESH WITH A MAXIMUM APERTURE OF 2mm MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM AND BE TIGHT FITTING

SOLID DOORS MINIMUM 28MM THICK

GLAZING IN DOORS TO BE GRADE TOUCHENED MINIMUM 8MM THICK

SLIDING DOORS INCORPORATING GLAZING SHALL BE TOUGHENED GLASS MIN. 8MM THICK

GARAGE DOOR SHALL BE NON-COMBUSTIBLE AND HAVE WEATHER STRIPS, SEAL OR BRUSHES. NOT REQUIRED FOR GARAGE DOORS WITH GUIDE TRACKS

STEEL ROOF COVER ONLY: ALL GAPS TO BE SEALED AT THE FASCIA OR WALL LINE. HIPS AND RIDGES WITH COMPLIANT MESH, MINERAL WOOL, OR NON-COMBUSTIBLE MATERIAL

ROOF PENETRATIONS SHALL BE SEALED

ROOF VENTILATION OPENINGS SHALL BE FITTED WITH EMBER GUARDS MADE FROM MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm. MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM

OVERHEAD GLAZING TO BE GRADE A SAFETY GLASS

EVAPORATIVE COOLER TO BE FITTED WITH ON-COMBUSTIBLE BUTTERFLY CLOSERS OR NON-COMBUSTIBLE COVER

FASCIAS AND BARGEBOARDS TO BE BUSHFIRE RESISTING TIMBER OR METAL FIXED AT 400mm CENTRES

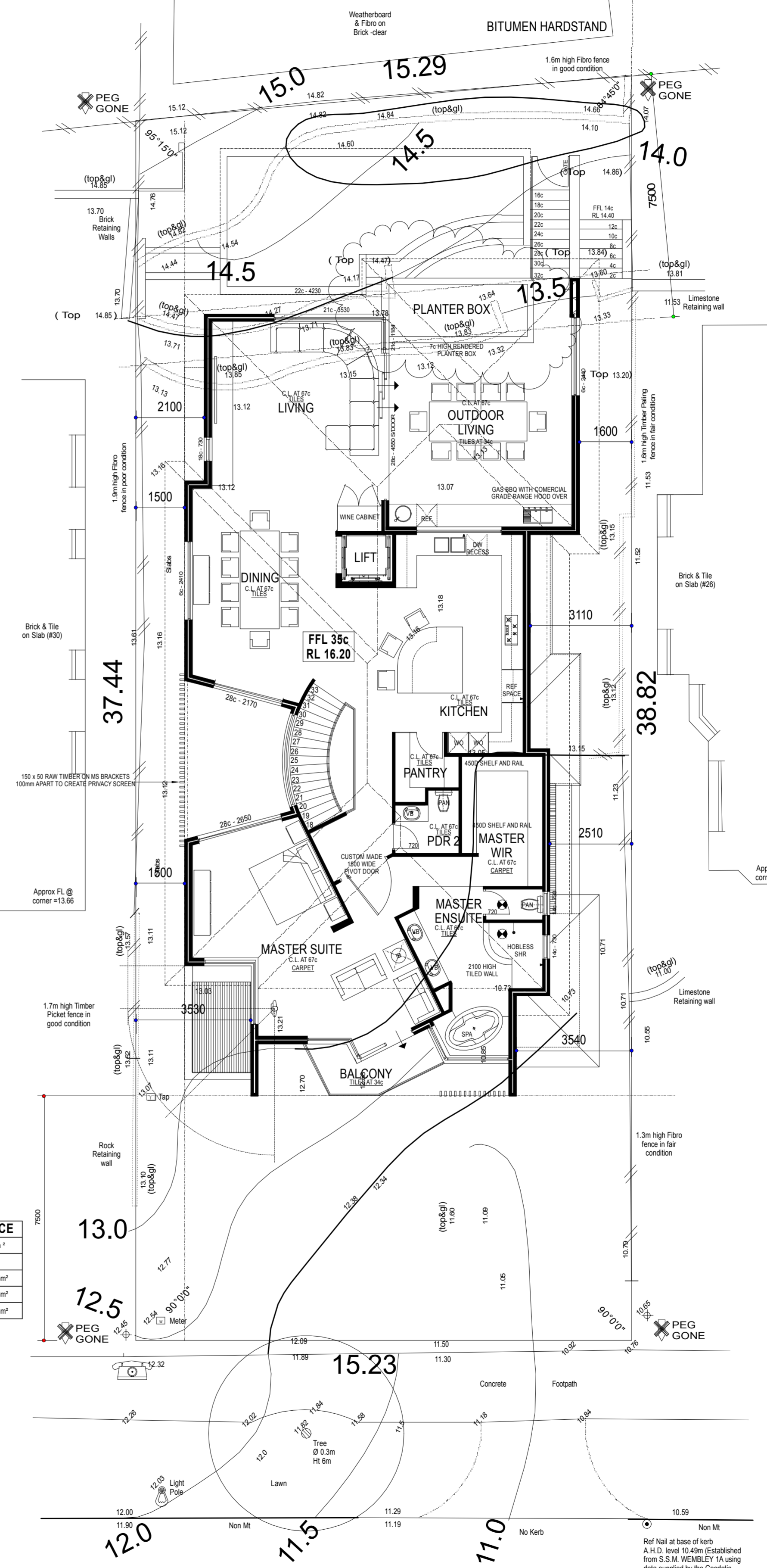
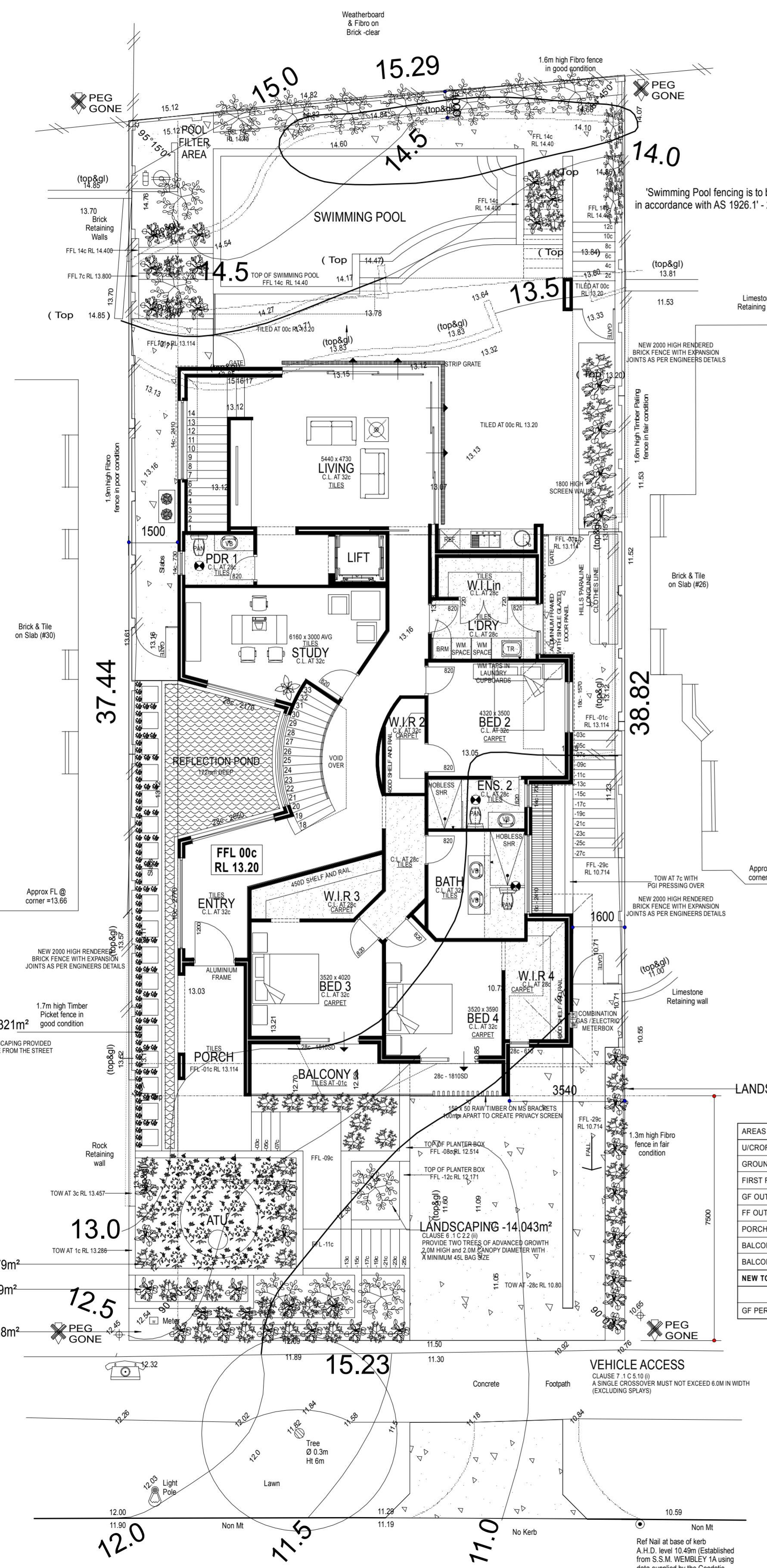
EAVES TO BE SEALED AND FIBRE CEMENT MIN. 4.5mm THICK. JOINTS IN EAVES LININGS, FASCIAS AND GABLES MAY BE SEALED WITH PLASTIC JOINING STRIPS OR TIMBER STORM MOULDS

DECKING, STAIR TREADS, TRAFFICABLE RAMPS, BALUSTRADES, HANDRAILS, AND LANDINGS (INCLUDING FRAMING) TO BE NON-COMBUSTIBLE OR BUSHFIRE RESISTING TIMBER

TIMBER VERANDAH POSTS TO BE NON-COMBUSTIBLE OR BUSHFIRE RESISTING TIMBER

ABOVE GROUND EXPOSED WATER SUPPLY PIPES TO BE METAL

EXTERNAL ABOVE GROUND GAS PIPES AND FITTINGS TO BE STEEL OR COPPER MIN. WALL THICKNESS OF 0.8MM EXTENDING A MIN. 400MM WITHIN THE BUILDING AND 100MM BELOW GROUND



AREAS	SITE COVER	OPEN SPACE
W/CROFT FLOOR PLAN	226.05m <sup>2</sup>	
GROUND FLOOR PLAN	208.13m <sup>2</sup>	208.13m <sup>2</sup>
FIRST FLOOR PLAN	202.07m <sup>2</sup>	
GF OUTDOOR LIVING	49.51m <sup>2</sup>	
FF OUTDOOR LIVING	45.12m <sup>2</sup>	
PORCH	7.10m <sup>2</sup>	7.10m <sup>2</sup>
BALCONY 1	10.63m <sup>2</sup>	10.63m <sup>2</sup>
BALCONY 2	5.51m <sup>2</sup>	
<b>NEW TOTAL</b>	<b>758.20m<sup>2</sup></b>	
GF PERIMETER	00.00m <sup>2</sup>	

SITE COVER / OPEN SPACE	
ZONING	R12.5 - 579m <sup>2</sup>
ALLOWABLE SITE COVER	45% - 260.55m <sup>2</sup>
ACTUAL SITE COVER	39% - 225.86m <sup>2</sup>
ACTUAL OPEN SPACE	61% - 353.14m <sup>2</sup>

LANDSCAPING - 4.321m<sup>2</sup>  
CLAUSE 6.1 (C.2.1)  
 ADDITIONAL COMPENSATING LANDSCAPING PROVIDED BEHIND THE SETBACK LINE VISIBLE FROM THE STREET

LANDSCAPING - 5.40m<sup>2</sup>

LANDSCAPING - 14.043m<sup>2</sup>  
CLAUSE 7.1 (C.4.1)  
 PROVIDE TWO TREES OF ADVANCED GROWTH 200 HIGH AND 1.2M DIA (APPROXIMATE) WITH A MINIMUM 45L EAG SIZE

LANDSCAPING - 16.879m<sup>2</sup>

LANDSCAPING - 2.829m<sup>2</sup>

LANDSCAPING - 11.128m<sup>2</sup>

**TOWN OF CAMBRIDGE**  
**AMENDED PLAN**  
**RECEIVED**  
**25 NOV 2021**



**PROPOSED RESIDENCE ON**  
**Lot 26 #28 BOSCOMBE WAY**  
**CITY BEACH**

**FOR CLIENT : BRIAN GRAY**

No	DATE	AMENDMENT	DWG
A	-	-	-

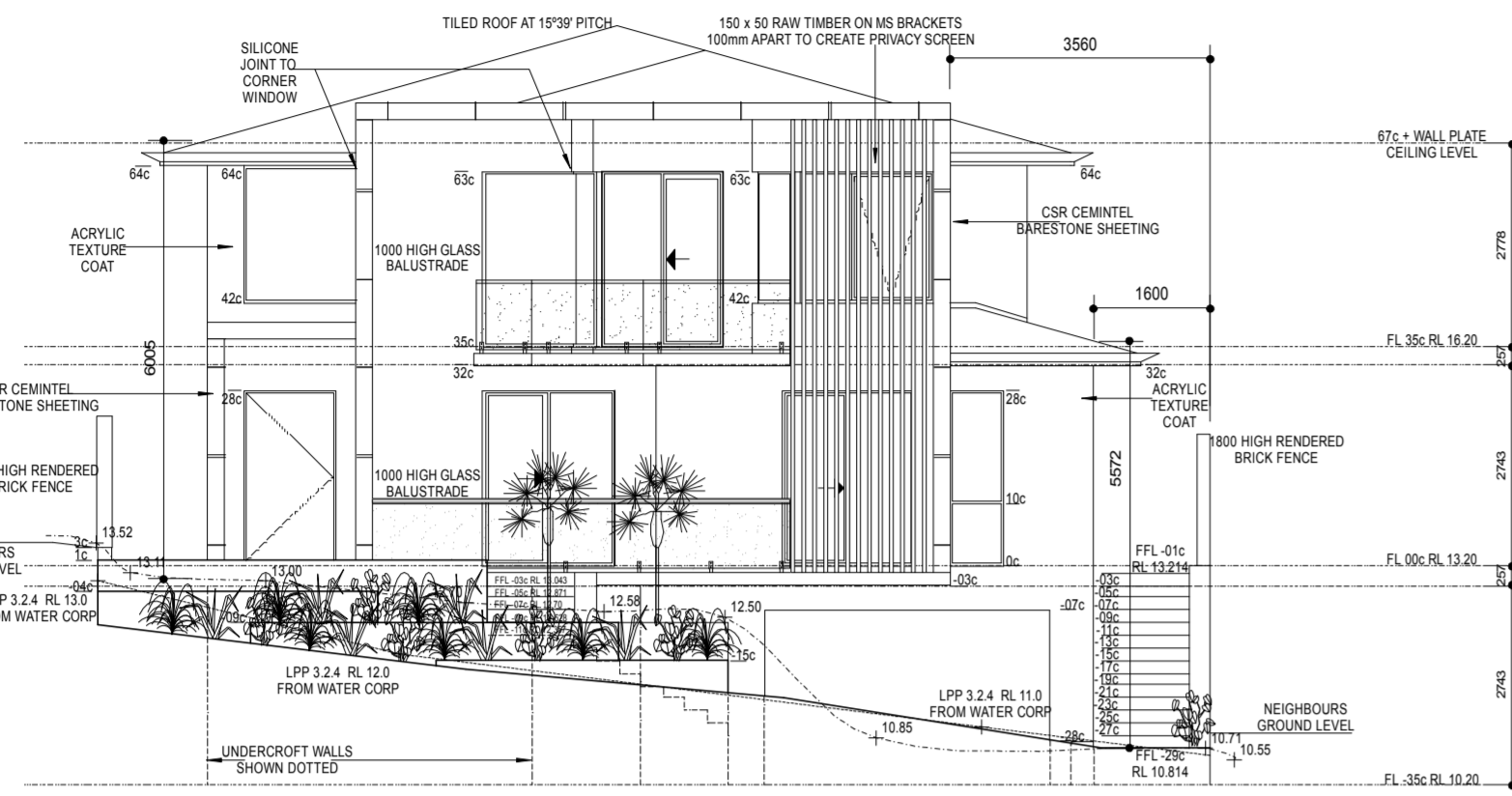
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**Boscombe Avenue**

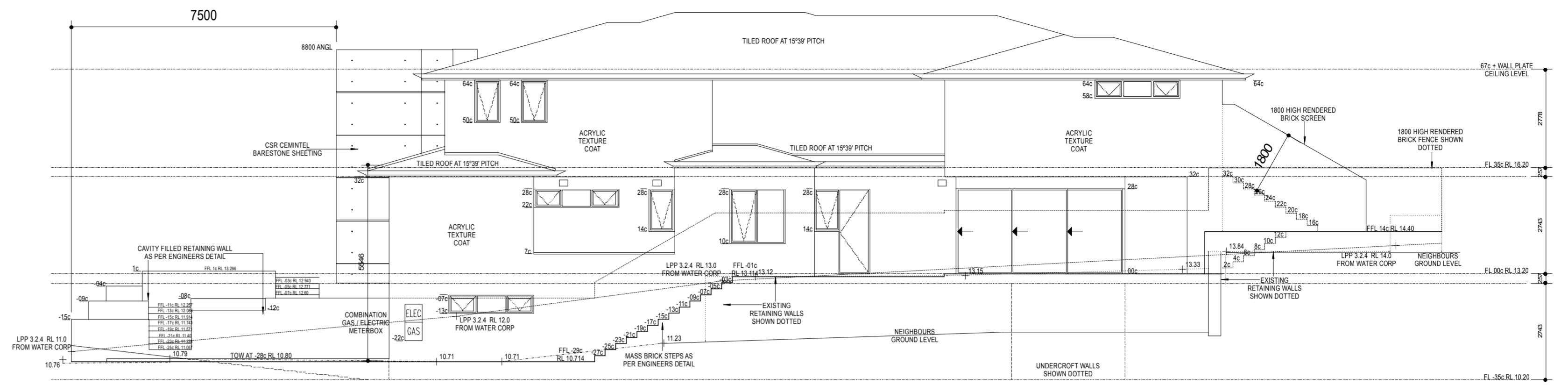
**Boscombe Avenue**

# EXTERNAL COLOUR SELECTION

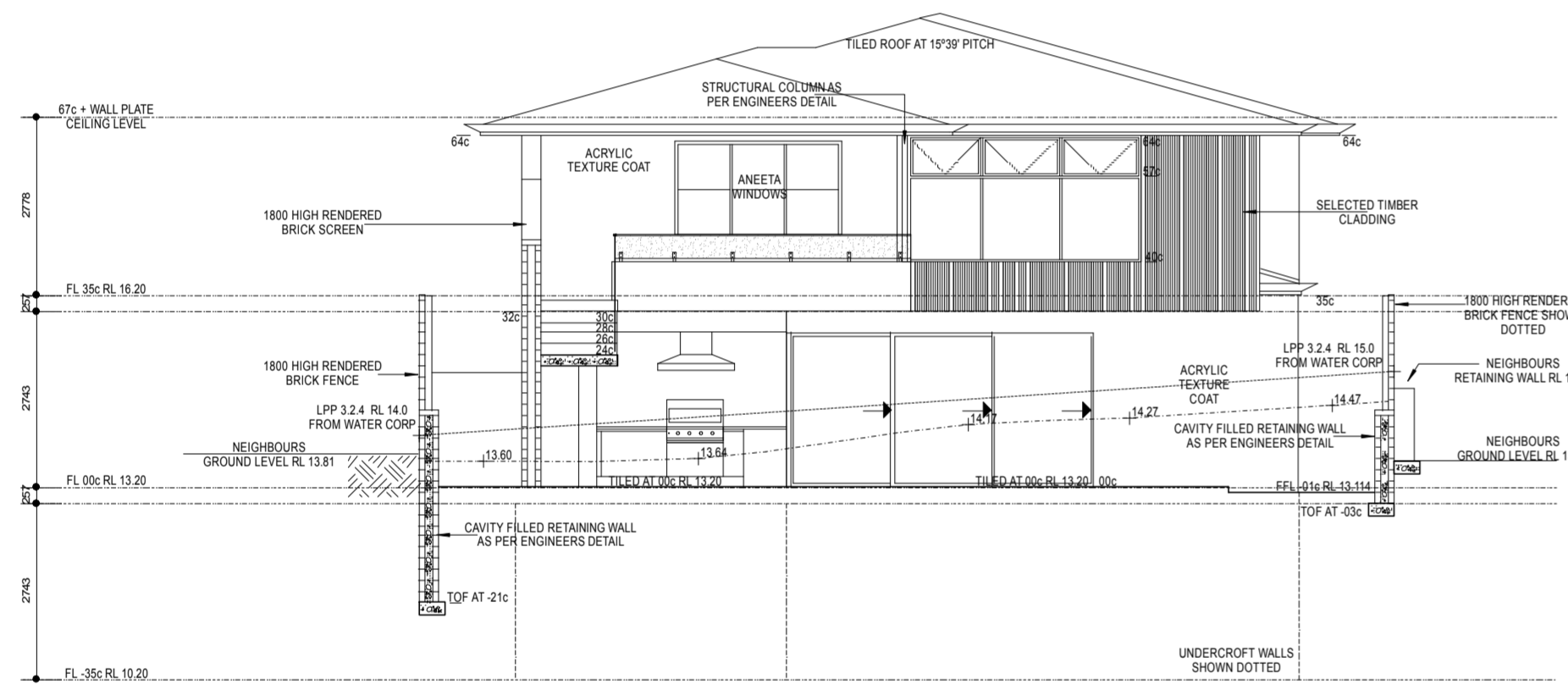
External Render: Dulux Leaxon  
 External Feature Render: Dulux Deep Walnut  
 Feature Cladding: Cement Barenstone  
 Window Frames: Silver Lustre  
 Roofing: Monier Horizon Soko Night  
 Gutters/Fascia: Coloband Monument Matt  
 Driveway: Washed Concrete  
 Garage door: Timber



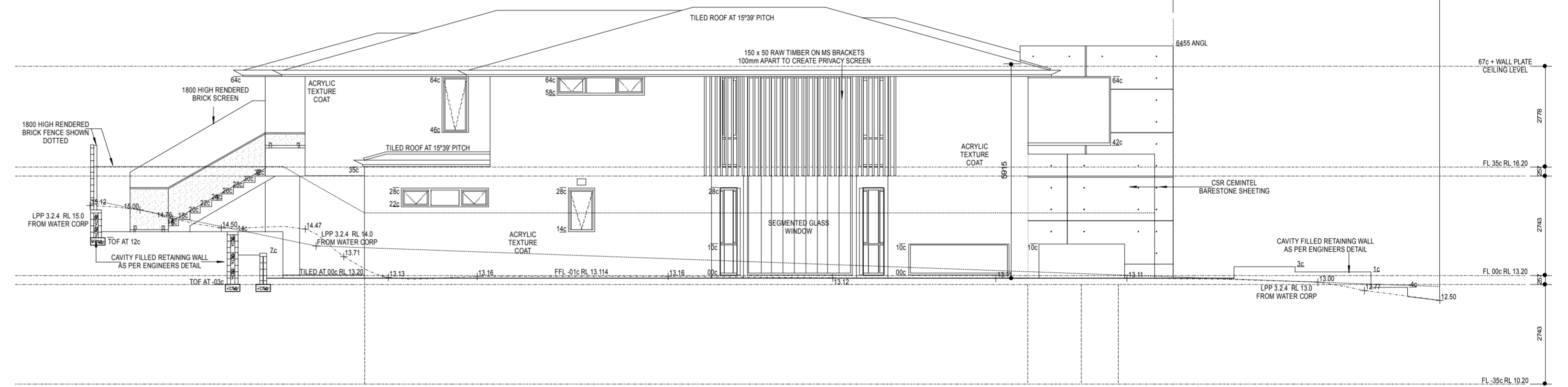
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

**TOWN OF CAMBRIDGE  
 AMENDED PLAN  
 RECEIVED  
 25 NOV 2021**

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 THE EXPOSED COMPONENTS OF EXTERNAL WALLS SHALL BE A NON-COMBUSTIBLE MATERIAL MIN. THICKNESS 90MM (Ground floor: Inset wall type).  
 FIBRE CEMENT SHEETING MIN. 6MM THICK WITH SARKING STEEL SHEETING WITH SARKING.  
 VENTS AND WEEP HOLES IN EXTERNAL WALLS SHALL BE SCREENED WITH A MESH WITH A MAXIMUM APERTURE OF 2mm MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.  
 ALL GLAZING SHALL BE TOUGHENED GLASS MINIMUM 5mm. FRAME MATERIAL (Insert Frame Material) must be suitable weather strip or nsgs).  
 THE OPENABLE PORTIONS OF WINDOWS AND PORTIONS OF WINDOWS WITHIN 400mm OF GROUND, DECKS OR ROOF LESS THAN 18° PITCH, SHALL BE SCREENED WITH A MESH WITH A MAXIMUM APERTURE OF 2mm MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM AND BE TIGHT FITTING.  
 SOLID DOORS MINIMUM 38MM THICK.  
 GLAZING IN DOORS TO BE GRADE TOUGHENED MINIMUM 6MM THICK.  
 SLIDING DOORS INCORPORATING GLAZING SHALL BE TOUGHENED GLASS MIN. 6MM THICK.  
 GARAGE DOOR SHALL BE NON-COMBUSTIBLE AND HAVE WEATHER STRIPS, SEALS OR BRUSHES. (NOT REQUIRED FOR GARAGE DOORS WITH GUIDE TRACKS).  
 STEEL ROOF COVER ONLY ALL GAPS TO BE SEALED AT THE FASCIA OR WALL LINE. HIPS AND RIDGES WITH A COMPLIANT MESH, MINERAL WOOL, OR NON-COMBUSTIBLE MATERIAL.  
 ROOF PENETRATIONS SHALL BE SEALED.  
 ROOF VENTILATION OPENINGS SHALL BE FITTED WITH EMBER GUARDS MADE FROM MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm. MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.  
 OVERHEAD GLAZING TO BE GRADE A SAFETY GLASS.  
 EVAPORATIVE COOLER TO BE FITTED WITH ON-COMBUSTIBLE BUTTERFLY CLOSERS OR NON-COMBUSTIBLE COVER.  
 FASCIAS AND BARGEBOARDS TO BE BUSHFIRE RESISTING TIMBER OR METAL, FIXED AT 450mm CENTRES.  
 EAVES TO BE SEALED AND FIBRE CEMENT MIN. 4.5mm THICK. JOINTS IN EAVES LININGS, FASCIAS AND GABLES MAY BE SEALED WITH PLASTIC JOINING STRIPS OR TIMBER STORM MOULDS.  
 DECKING, STAIR TREADS, TRAFFICABLE RAMPS, BALUSTRADES, HANDRAILS AND LANDINGS (INCLUDING FRAMING) TO BE NON-COMBUSTIBLE OR TIMBER SPECIFIED IN AS3959 APPENDIX E OR F.  
 TIMBER VERANDAH POSTS TO BE NON-COMBUSTIBLE OR BUSHFIRE RESISTING TIMBER.  
 ABOVE GROUND EXPOSED WATER SUPPLY PIPES TO BE METAL.  
 EXTERNAL ABOVE GROUND GAS PIPES AND FITTINGS TO BE STEEL OR COPPER MIN. WALL THICKNESS OF 0.9MM EXTENDING A MIN. 400MM WITHIN THE BUILDING AND 100MM BELOW GROUND.

**NSBD**

**NEIL SALVIA  
 BUILDING DESIGNS**  
 Architectural Design & Drafting  
 Client Side Project Management

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 Ph: 08 9344 6747 M: 0800 575 332  
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Member 485 Building Designers Association WA (Inc)  
 Accredited Member 1202 Building Designers Association WA (Inc)  
 Member 184916 Housing Industry Association (HIA)

**PROPOSED RESIDENCE ON  
 Lot 26 #28 BOSCOMBE WAY  
 CITY BEACH**

**FOR CLIENT: BRIAN GRAY**

No	DATE	AMENDMENT	DWG
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