

⊕	SEC Dome
⊖	Power Pole
⊞	Phone Pits
⊞	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

PROJECT No. **14449** SHEET No. **11 of 12**  
**SIDE SURVEY SHEET**  
 DRAWN: SA DATE: DEC '20 REV # **A**  
 SCALE: 1:200 CHK: MF

VARIATION	DATE	DRAWN	CHK
			###

These are the plans referred to in the Building Contract

CLIENT: \_\_\_\_\_  
 CLIENT: \_\_\_\_\_  
 BUILDER: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 No further structural changes  
 © COPYRIGHT

**DISCLAIMER:**  
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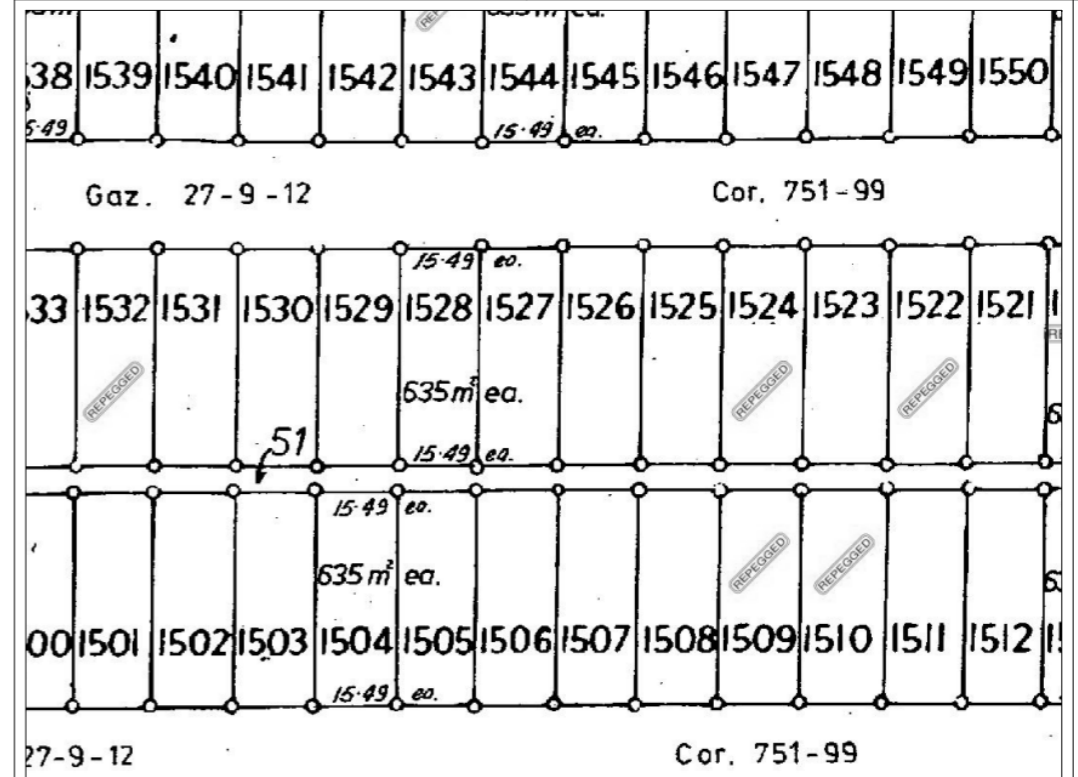
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**Content LIVING**

ACN 055 245 308 - B.C - 8867  
 Level 4, 302 Selby Street,  
 Osborne Park W.A. 6017  
 P.O Box 1101  
 Osborne Park W.A. 6916  
 PH (08) 9202 5222  
 FAX (08) 9202 5233

CLIENT: **Ward** CONTRACT / JOB NO. **14449**  
 MAP REF. **342 A7**  
 SITE SURVEY **COASTAL NO**  
 (Scaled from StreetSmart Directory Only - Confirm With Shire) **OLD AREA**  
**LOT 1526**  
 (#13) Bath Street  
 Suburb **Wembley**  
 Loc.Auth. **TOWN OF CAMBRIDGE**  
 Plan **3273** Volume **1112** Folio **522**  
 Location **Check Title**



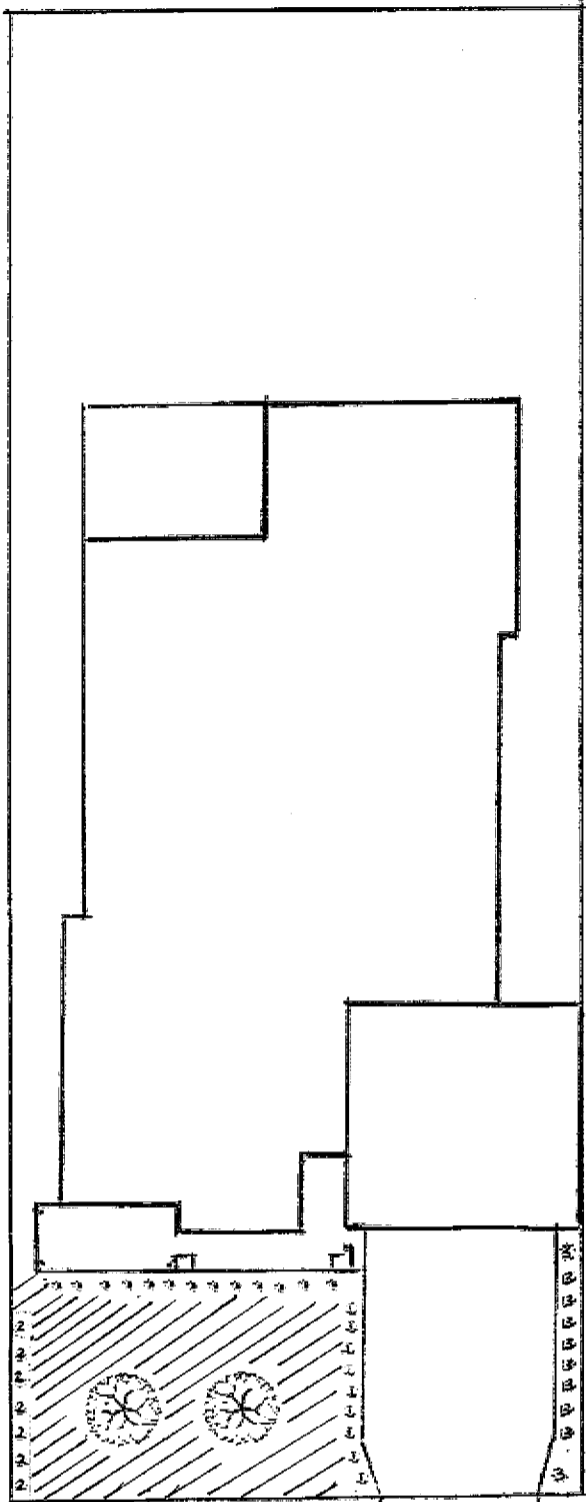
Elec. ⊕ U/Ground Water Yes Sewer Yes  
 Gas Yes - Bath St Phone Comms ⊞ Yes Footpath Nil  
 Road Bitumen Kerb Non-Mount / Nil Drainage Good



Scale 1:200  
 0 2 4 6 8  
 Scale 1:200 Date: 26 Oct 20

**COTTAGE & ENGINEERING SURVEYS** 87-89 Guthrie Street, Osborne Park, Western Australia  
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998  
 Email: perth@cottage.com.au Website: www.cottage.com.au  
 Licensed Surveyors © J/No: 483344 Drawn: B. Saliba

NOTE - EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION - SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING - CHECK TITLE FOR EASEMENTS / COVENANTS ETC. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES.



PLANT LEGEND	
Lagerstroemia Indica	
Liriope	
Westringia Fructicosa	
Salvia Rosmarinus	
Casuarina Glauca	
Sir Walter Buffalo Grass	

**BATH STREET**

LANDSCAPING PLAN

SCALE 1:200



⊕	SEC Dome
⊖	Power Pole
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⊖	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
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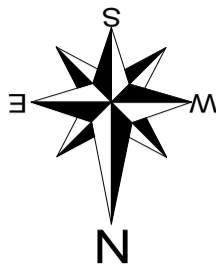
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**CLIENT NOTE:**  
OWNER TO BACKFILL & COMPACT EXISTING POOL AREA AS PER ENGINEERS REQUIREMENTS. OWNER TO PROVIDE COMPACTION CERTIFICATE PRIOR TO CONSTRUCTION. REFER TO DEMOLITION PLAN FOR LOCATION.

Grano / Paving Areas		
	AREA	Perimeter
PAVED DRIVEWAY	39.89	25.63
GARAGE	34.70	23.83

**-WIND CLASSIFICATION (N1)  
AS PER AS 4055**

TERMITE TREATMENT TO BE CHEMICAL TREATMENT IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE 2016, PART 3.1.3, PART 2.1.1 & PART 1.0.7 USING THE TERMICO MANAGEMENT PLAN

CLIENT NOTE: REPAIRS / REINSTATEMENT TO DAMAGED KERBS AND / OR FOOTPATHS WHERE NECESSARY IS THE RESPONSIBILITY OF THE OWNER

CLIENT NOTE: BEWARE OF UNDERGROUND SERVICE RUN-INS WHEN DIGGING

CLIENT NOTE: STORMWATER DISPOSAL SHALL BE IN ACCORDANCE WITH THE COUNCIL APPROVED PLANS & CONDITIONS OF APPROVAL AND ANY SPECIFIED STRUCTURAL ENGINEER'S REQUIREMENTS (REFER TO ADDENDA)

CLIENT NOTE: REMOVAL AND RE-INSTATEMENT OF FENCING AS NECESSARY BY LAND OWNER/S TO BUILDERS SCHEDULE IN ACCORDANCE WITH THE BUILDING ACT (2011) OWNER TO LIAISE & GAIN PERMISSION FROM ADJOINING LAND OWNER/S ACCORDINGLY AND GIVE 24 HOURS NOTICE PRIOR TO THE REMOVAL / RE-INSTATEMENT OF FENCING

NOTE: SOME BUILDING MATERIALS WILL BE PLACED IN THE VERGE RESERVE DURING THE COURSE OF CONSTRUCTION

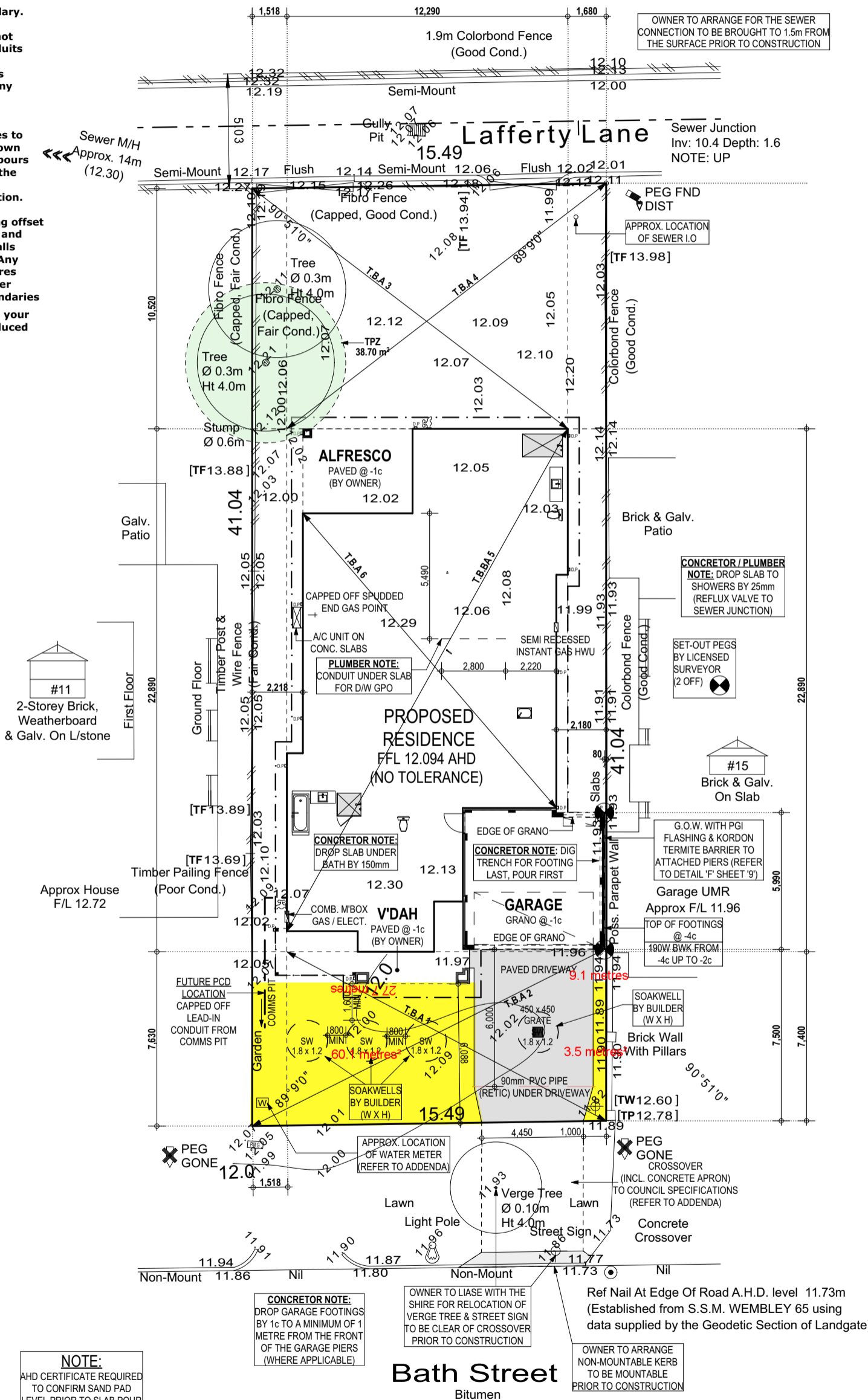
PROJECT No. <b>14449</b>	SHEET No. <b>1 of 12</b>		
<b>SITE PLAN</b>			
DRAWN: SA	DATE: DEC' 20		
SCALE: 1:200	CHK: MF		
REV # A			
VARIATION	DATE	DRAWN	CHK
			###
CONTRACT PLANS			
These are the plans referred to in the Building Contract			
CLIENT:	.....		
CLIENT:	.....		
BUILDER:	.....		
DATE:	.....		
No further structural changes			
© COPYRIGHT			

**SOIL DESCRIPTION**  
Fill Sand trace artificial material; Fill Sand  
Sand trace organic material;  
Organic refusal  
Refer to Survey

Scale 1:200



**NOTE:**  
ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE BY BUILDER



**NOTE:**  
AHD CERTIFICATE REQUIRED TO CONFIRM SAND PAD LEVEL PRIOR TO SLAB POUR

**CONCRETOR NOTE:**  
DROP GARAGE FOOTINGS BY 1c TO A MINIMUM OF 1 METRE FROM THE FRONT OF THE GARAGE PIERS (WHERE APPLICABLE)

OWNER TO LIAISE WITH THE SHIRE FOR RELOCATION OF VERGE TREE & STREET SIGN TO BE CLEAR OF CROSSOVER PRIOR TO CONSTRUCTION

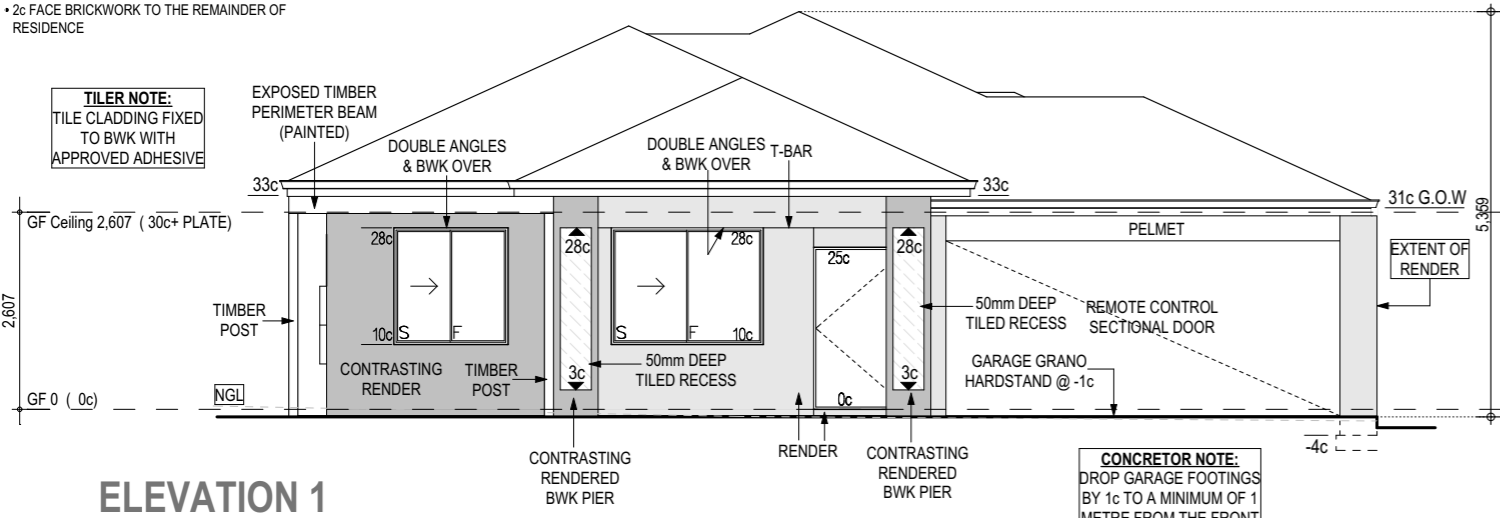
Ref Nail At Edge Of Road A.H.D. level 11.73m (Established from S.S.M. WEMBLEY 65 using data supplied by the Geodetic Section of Landgate)

OWNER TO ARRANGE NON-MOUNTABLE KERB TO BE MOUNTABLE PRIOR TO CONSTRUCTION

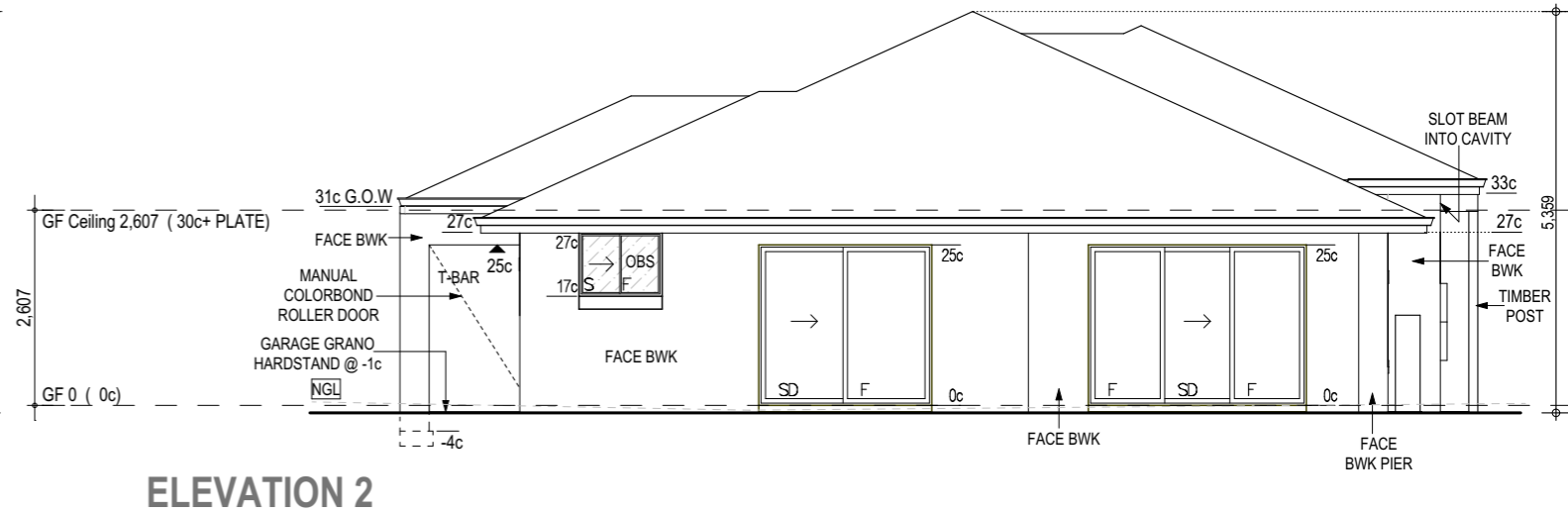
**NOTES:**

- COLORBOND ROOF @ 24°43 PITCH
- NON-COASTAL ZONE
- N1 WIND CLASSIFICATION (AS PER ENGINEERS CERTIFICATION OF INSPECTION)
- 30c HIGH CEILING THROUGHOUT - UNLESS NOTED OTHERWISE (NOTE: WINDOW HEADS AT 27c, DOUBLE ANGLES & BWK OVER ALL DOORS & SLIDING DOORS)
- RENDERED BWK TO FRONT ELEVATION - AS INDICATED ON ELEVATIONS
- 2c FACE BRICKWORK TO THE REMAINDER OF RESIDENCE

**TILER NOTE:**  
TILE CLADDING FIXED TO BWK WITH APPROVED ADHESIVE



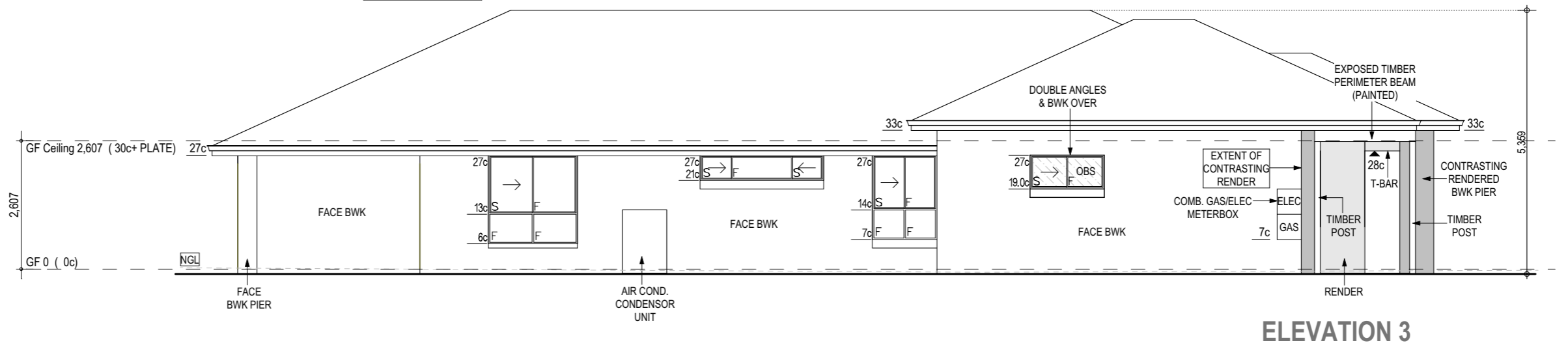
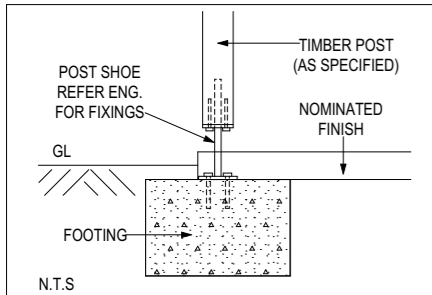
**ELEVATION 1**



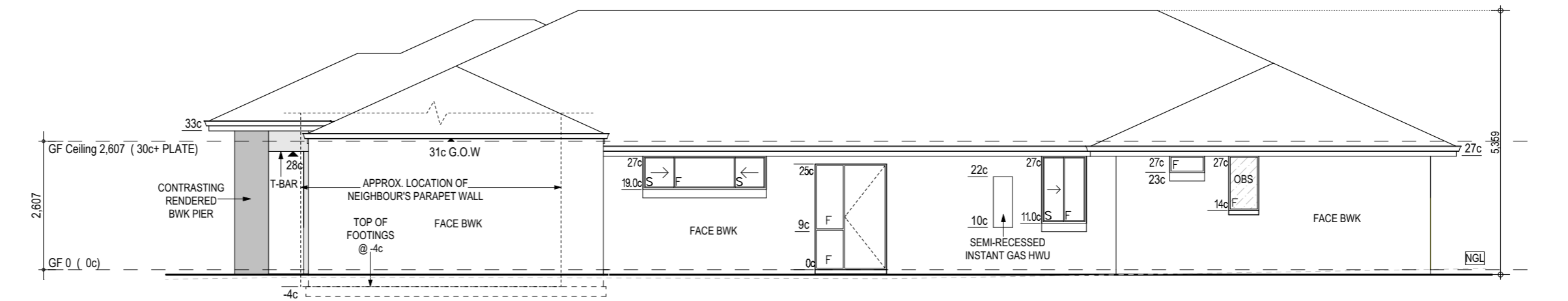
**ELEVATION 2**

**NOTE:**  
EXTERNAL FACE BRICK SIZE:  
290L x 90W x 162H  
ALL COURSE HEIGHTS SHOWN ARE TO STANDARD BRICK COURSING  
EXTERNAL FACE BRICKWORK TO BE IN ONE THIRD BOND COURSING  
FIRST COURSE OF BWK ABOVE FOOTING & SLAB TO BE 76mm CORED BRICK  
WINDOWS SILLS TO BE 2c HIGH FINISHING SILL BRICKS UNLESS NOTED OTHERWISE

**CLIENT NOTE:**  
POSTS WILL FINISH SHORT OF NOMINATED FINISH TO COMPLY WITH AUSTRALIAN STANDARD AS3660.1



**ELEVATION 3**



**ELEVATION 4**

MAP REF	LATITUDE	LONGITUDE
342 - A7	31o55'35"9S	115o49'17"1E
VARIATIONS No.	DATE	DRAWN
These are the plans referred to in the Building Contract		
CLIENT:		
CLIENT:		
BUILDER:		
DATE:		
No further structural changes		
© COPYRIGHT		

<b>Content LIVING</b> ACN 055 245 308 - B.C - 8867 Level 4, 302 Selby Street, Osborne Park W.A. 6017 P.O Box 1101 Osborne Park W.A. 6916 PH (08) 9202 5222 FAX (08) 9202 5233	<b>HOUSE AREAS</b>	CLIENT:	PROJECT No.	'BATALI'
	HOUSE AREA	WARD	14449	
	GARAGE		ADDRESS:	SHEET No.
	ALFRESCO		LOT 1526 (#13) BATH STREET	3 of 12
	VDAH	287.00 m <sup>2</sup>	WEMBLEY	
PERIMETER	70.36 m	TOWN OF CAMBRIDGE		

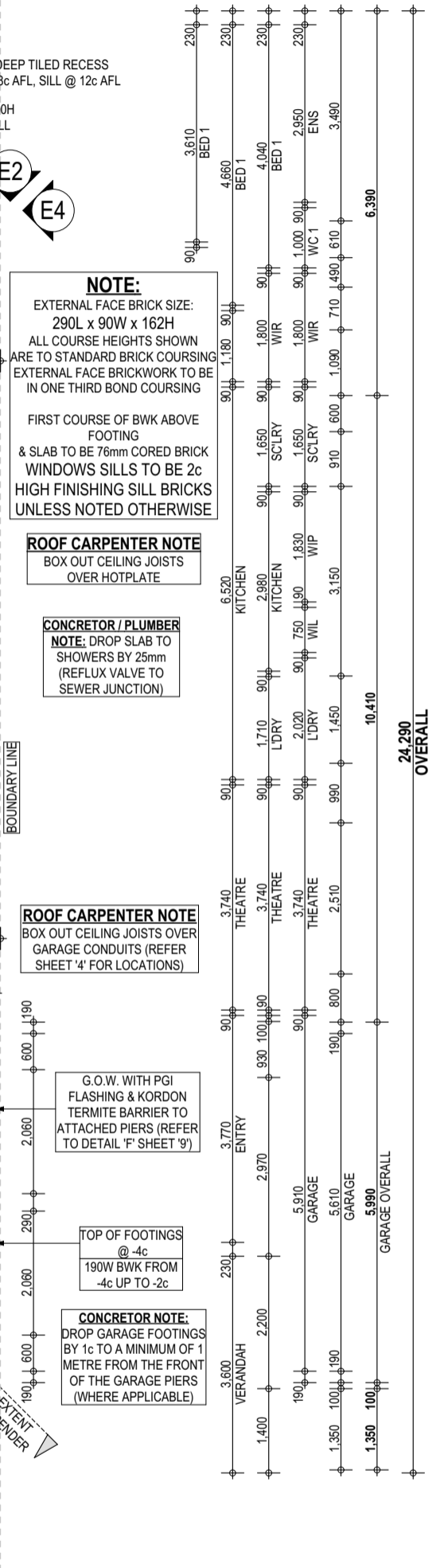
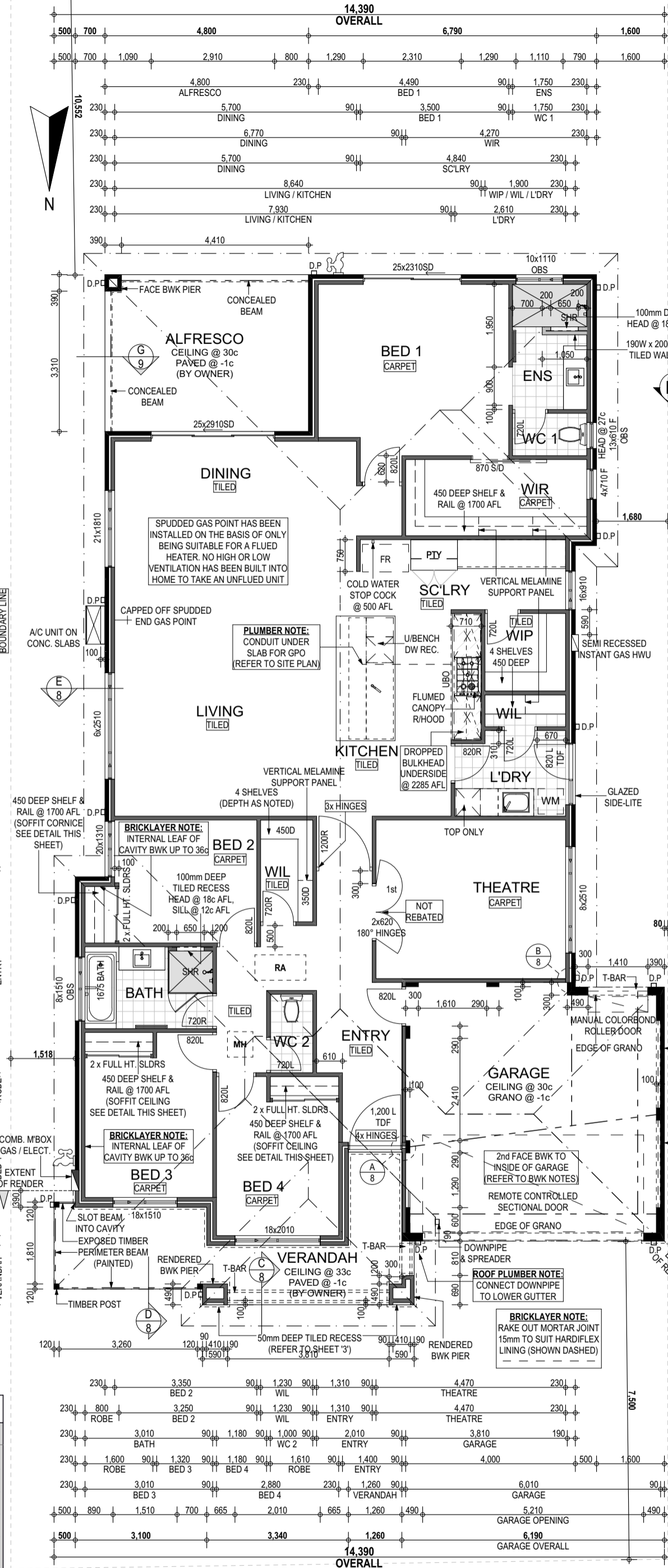
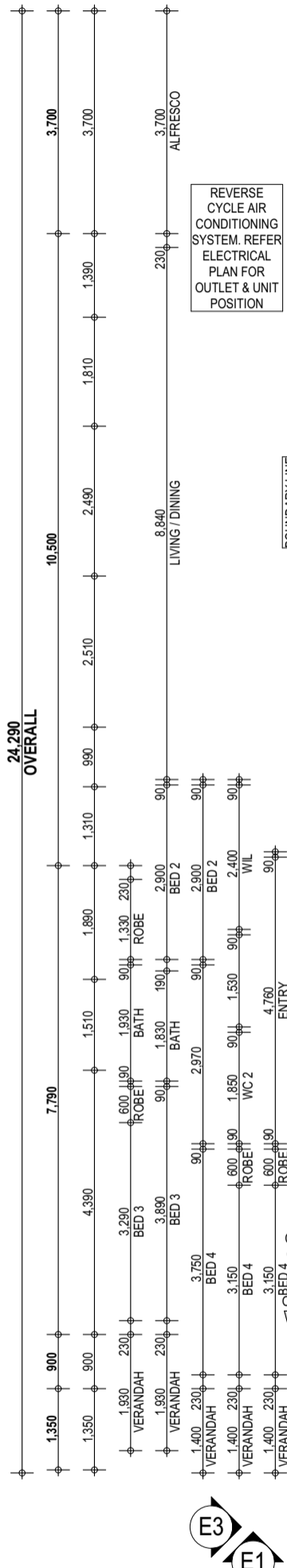
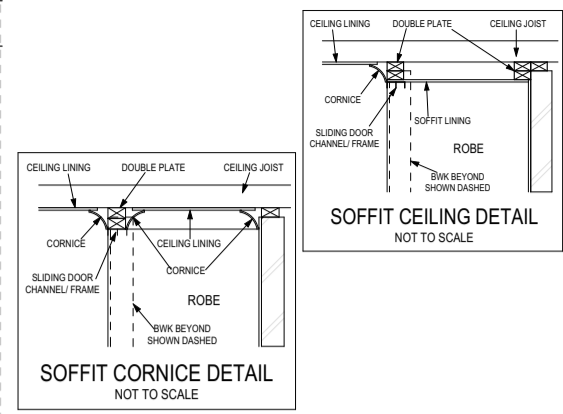
CLIENT:	PROJECT No.	'BATALI'
WARD	14449	
ADDRESS:	SHEET No.	ELEVATIONS
LOT 1526 (#13) BATH STREET	3 of 12	
WEMBLEY		
TOWN OF CAMBRIDGE		

**BWK NOTE:**  
- FOR ODD COURSE HEIGHT WINDOW USE 2c HIGH FINISHING SILL BRICK.  
- FOR EVEN COURSE HEIGHT WINDOW USE 1c HIGH SOLID LONGREACH SILL BRICK

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- COPYRIGHT - THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF THE BUILDER AND MUST NOT BE GIVEN, LENT, RESOLD OR OTHERWISE DISPOSED OF OR COPIED WITHOUT THE PERMISSION IN WRITING OF THE BUILDER

**NOTES:**

- COLORBOND ROOF @ 24°43 PITCH
- NON-COASTAL ZONE
- N1 WIND CLASSIFICATION (AS PER ENGINEERS CERTIFICATION OF INSPECTION)
- 30c HIGH CEILING THROUGHOUT - UNLESS NOTED OTHERWISE (NOTE: WINDOW HEADS AT 27c, DOUBLE ANGLES & BWK OVER ALL DOORS & SLIDING DOORS)
- RENDERED BWK TO FRONT ELEVATION - AS INDICATED ON ELEVATIONS
- 2c FACE BRICKWORK TO THE REMAINDER OF RESIDENCE



**NOTE:**  
EXTERNAL FACE BRICK SIZE:  
290L x 90W x 162H  
ALL COURSE HEIGHTS SHOWN  
ARE TO STANDARD BRICK COURSING  
EXTERNAL FACE BRICKWORK TO BE  
IN ONE THIRD BOND COURSING

FIRST COURSE OF BWK ABOVE  
FOOTING  
& SLAB TO BE 76mm CORED BRICK  
WINDOWS SILLS TO BE 2c  
HIGH FINISHING SILL BRICKS  
UNLESS NOTED OTHERWISE

**ROOF CARPENTER NOTE**  
BOX OUT CEILING JOISTS  
OVER HOTPLATE

**CONCRETOR / PLUMBER  
NOTE:** DROP SLAB TO  
SHOWERS BY 25mm  
(REFLUX VALVE TO  
SEWER JUNCTION)

**ROOF CARPENTER NOTE**  
BOX OUT CEILING JOISTS OVER  
GARAGE CONDUITS (REFER  
SHEET '4' FOR LOCATIONS)

G.O.W. WITH PGI  
FLASHING & KORDON  
TERMITE BARRIER TO  
ATTACHED PIERS (REFER  
TO DETAIL 'F' SHEET '9')

TOP OF FOOTINGS  
@ -4c  
190W BWK FROM  
-4c UP TO -2c

**CONCRETOR NOTE:**  
DROP GARAGE FOOTINGS  
BY 1c TO A MINIMUM OF 1  
METRE FROM THE FRONT  
OF THE GARAGE PIERS  
(WHERE APPLICABLE)

**BRICKLAYER NOTE:**  
RAKE OUT MORTAR JOINT  
15mm TO SUIT HARDIFLEX  
LINING (SHOWN DASHED)

**GENERAL NOTES:**

- REFER TO ENERGY EFFICIENCY SHEETS FOR LIGHT/ VENT REQUIREMENTS
- CORNER PLASTER BEADS TO 45° & 90° CORNERS ONLY UNLESS OTHERWISE NOTED ON PLAN
- REMOTE CONTROL SECTIONAL DOOR TO GARAGE (REFER TO ADDENDA)
- LIFT OFF HINGES TO WC DOORS
- REFER TO ADDENDA FOR BENCHTOP MATERIAL & FINISH
- DOUBLE TOWEL RAIL TO BATHROOM & ENSUITE (REFER TO ADDENDA)
- MITRED EDGE TILING TO WET AREAS WHERE APPLICABLE (REFER TO ADDENDA)
- CABINET MAKER TO CONFIRM VENTING REQUIREMENTS FOR ALL BUILT IN APPLIANCES (REFER TO ADDENDA)

**PLUMBING NOTES:**

- NO FLUE PIPES TO FRONT ELEVATION ROOF
- DOWNPIPES TO ROOF SHALL BE AT CENTRES TO ROOF PLUMBERS DISCRETION
- REFER TO ADDENDA FOR MAKE & MODEL OF ALL FIXTURES & FITTINGS
- COLD PLUMBING ONLY TO DISHWASHER RECESS
- COLD WATER STOP COCK TO FR RECESS
- EXTRA GUTTER OVERFLOW PROVISIONS MAY BE REQUIRED IN ACCORDANCE WITH NCC INSTALLED AT THE PLUMBERS DISCRETION

**ROOF NOTES:**

- ROOF TIE DOWN IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS
- ROOF COVER INSTALLED TO MANUFACTURERS SPECIFICATIONS
- TRIPLE GRIP CONNECTORS TO RAFTER-PITCHING BEAMS CONNECTIONS
- COLLAR TIES TO UNDERSIDE OF RIDGE BEAM
- ALL ROOF & CEILING TIMBER TO BE H2 TREATED

**BWK NOTES:**

- FACE BWK TO INSIDE OF GARAGE TO BE 2nd FACE WITH CONCEAVE JOINT
- DIMENSION TO BWK ONLY-PLASTER MARGIN NOT ALLOWED FOR
- HOLDING DOWN RODS TO BRICK PIERS WITH BEAM ABOVE
- HOLDING DOWN STRAPS TO PIERS WITHOUT BEAM ABOVE
- HOLDING DOWN STRAPS TO PERIMETER OF HOUSE
- FLASHING REQUIRED TO BWK ABOVE WINDOWS & SLIDING DOORS WHERE NO EAVES & MORE THAN 3c BRICKWORK ABOVE WINDOWS & SLIDING DOORS WITH AN EAVE
- 2ND FACE BRICKWORK MAY BE USED ON SINGLE LEAF FACE BRICK WALLS WHERE REQUIRED. THE APPEARANCE OF THE 1ST AND 2ND FACE OF THE SELECTED BRICK MAY VARY SIGNIFICANTLY.

MAP REF	LATITUDE	LONGITUDE
342 - A7	31o55'35"9S	115o49'17"1E
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DATE:		
No further structural changes		
© COPYRIGHT		
<b>Content LIVING</b>	<b>HOUSE AREAS</b>	CLIENT: <b>WARD</b>
ACN 055 245 308 - B.C - 8867	HOUSE AREA 214.81	PROJECT No. <b>14449</b>
Level 4, 302 Selby Street,	GARAGE 37.17	SHEET No. <b>2 of 12</b>
Osborne Park W.A. 6017	ALFRESCO 17.76	<b>'BATALI'</b>
P.O Box 1101	VDAH 17.26	<b>FLOOR PLAN</b>
Osborne Park W.A. 6916	<b>287.00 m<sup>2</sup></b>	DRAWN: SA DATE: DEC '20
PH (08) 9202 5222	PERIMETER 70.36m	SCALE: 1:100 CHK: MF
FAX (08) 9202 5233		

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⊖	Power Pole
⊠	Phone Pits
⊞	Water Conn.
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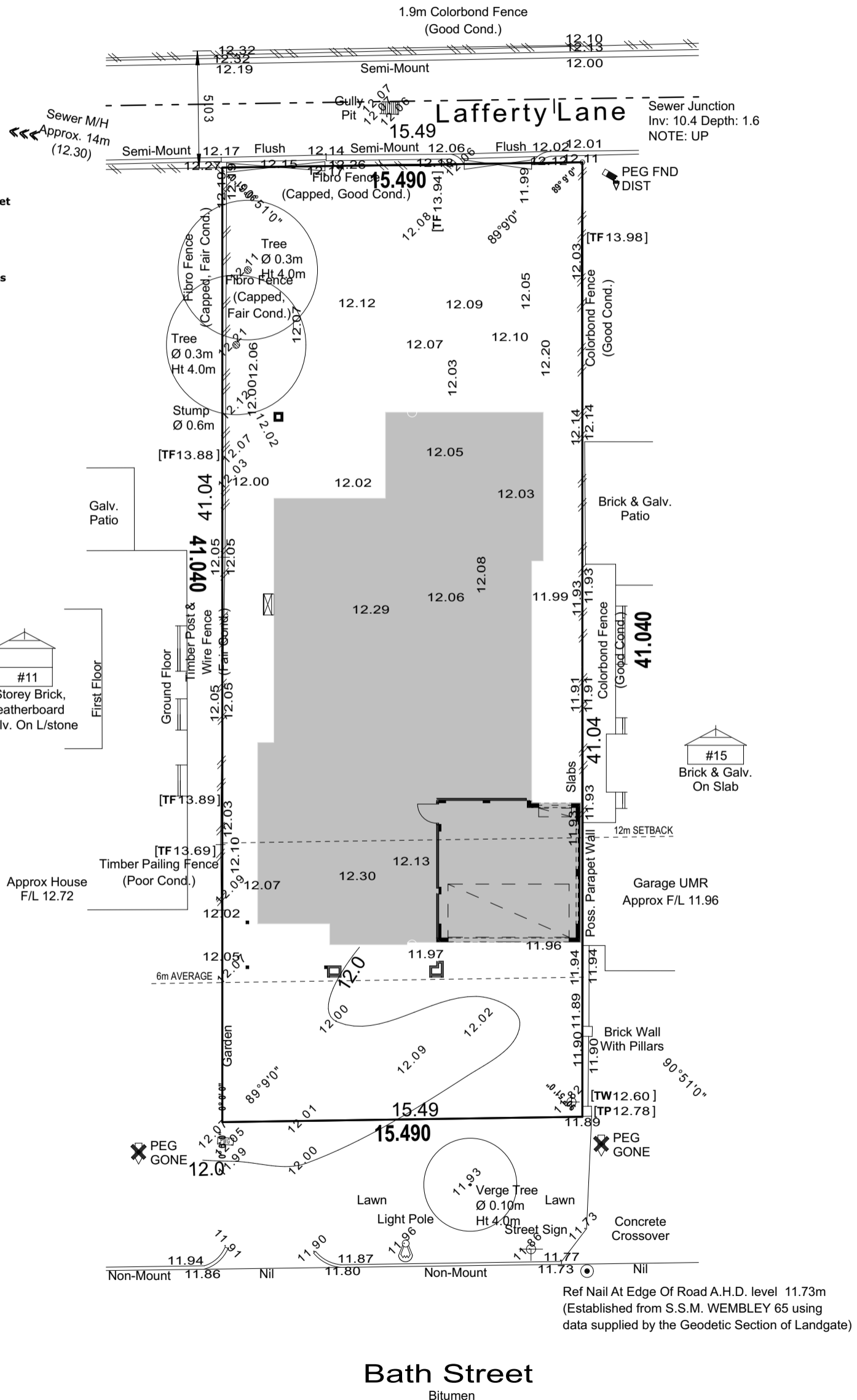
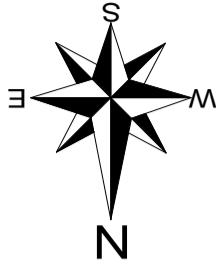
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SITE COVERAGE	
ZONED	R20
% ALLOWED	50%
SITE AREA	635.64m <sup>2</sup>
SITE COV. AREA	254.62m <sup>2</sup>
<b>SITE COVERAGE = 40.1%</b>	



DAP	NO
STRUCTURE PLAN	NO
NOTES:	

PROJECT No.	SHEET No.		
<b>14449</b>	<b>12 of 12</b>		
<b>SITE COVERAGE / AVERAGING</b>			
DRAWN: SA	DATE: DEC '20		
SCALE: 1:200	CHK: MF		
REV # <b>A</b>			
VARIATION	DATE	DRAWN	CHK
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SOIL DESCRIPTION	
Fill Sand trace artificial material; Fill Sand	
Sand trace organic material;	
Organic refusal	Refer to Survey

Scale 1:200



Ref Nail At Edge Of Road A.H.D. level 11.73m  
 (Established from S.S.M. WEMBLEY 65 using data supplied by the Geodetic Section of Landgate)