

STRATA
LOT 2

10.06

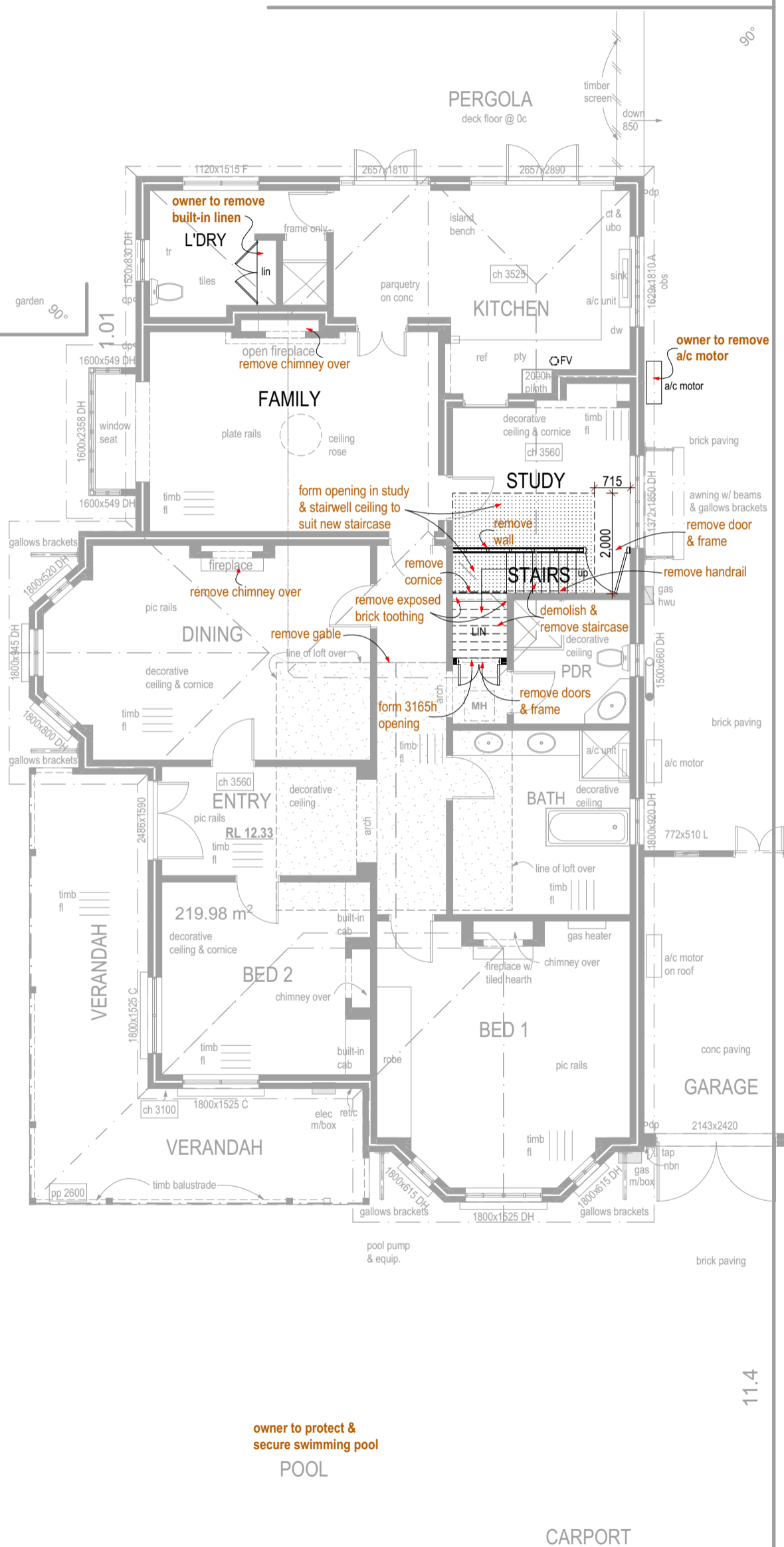
4.83

12.51

8.94

90°

90°



owner to protect &
secure swimming pool

POOL

CARPORT

PROPOSED RESIDENCE FOR:
LONGROAD HOLDINGS PTY LTD

ADDRESS:
101 NORTHWOOD STREET,
WEST LEEDERVILLE 6007

DRAWN: BA SCALE: 1:100
 DESIGNED: AFT SHEET: 1 OF 7
 CHECKED: NAC SIZE: A3
 DATE: 21/04/2021 RENOVATIONS
 LAST OPENED: 23/04/2021 JOB NO:
 156025

Issue Name	Drawn	Date	Issue Name	Drawn	Date
001	BA	18/03/21			
002	BA	18/03/21			

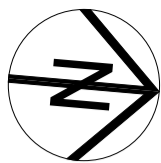
EXISTING FLOOR PLAN

SUMMIT
HOMES GROUP

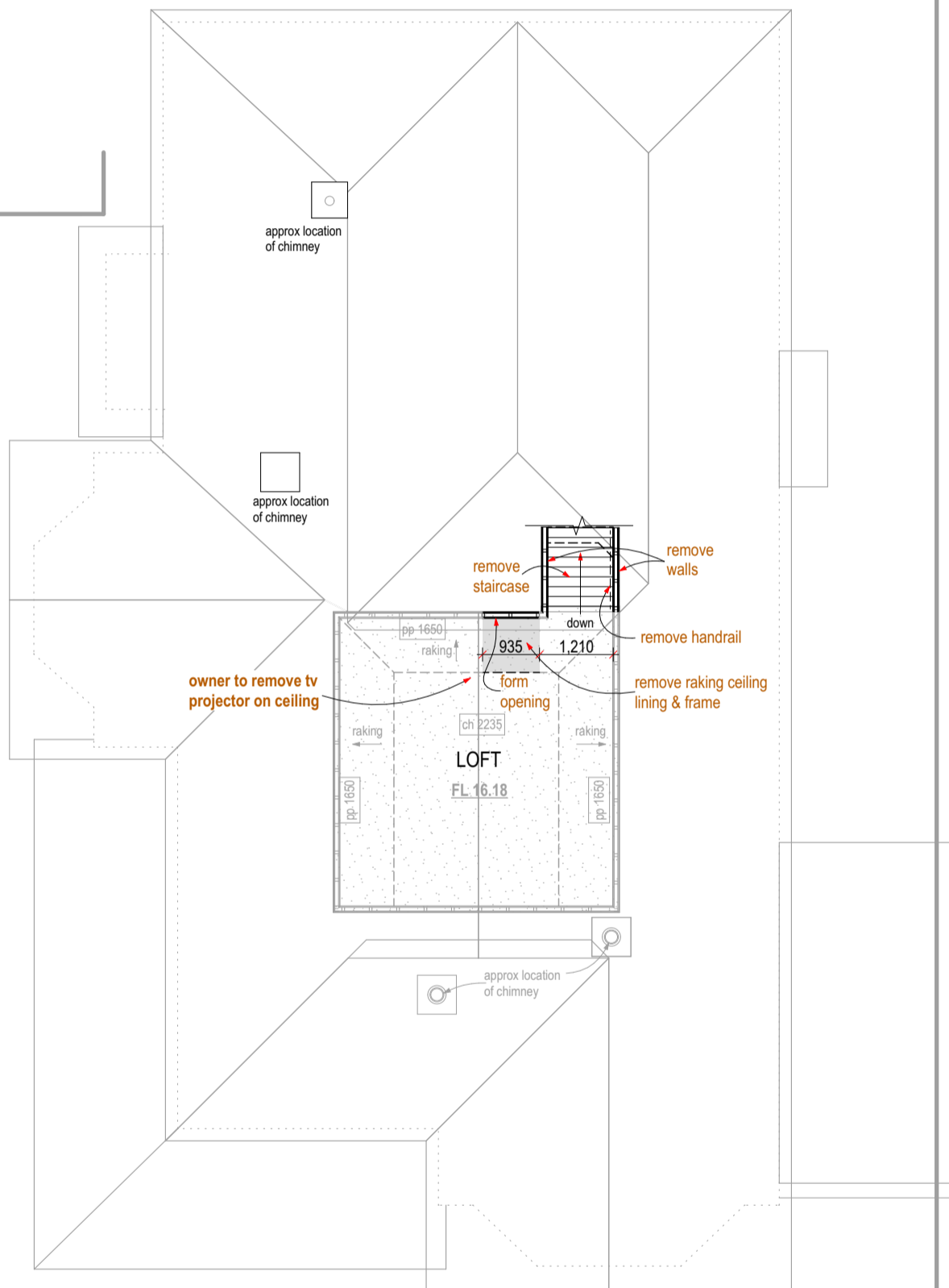
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ADJOINING UNITS X 2



PROPOSED RESIDENCE FOR:
LONGROAD HOLDINGS PTY LTD

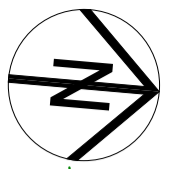
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101 NORTHWOOD STREET,
WEST LEEDERVILLE 6007

DRAWN: BA SCALE: 1:100
 DESIGNED: AFT SHEET: 2 OF 7
 CHECKED: NAC SIZE: A3
 DATE: 21/04/2021 RENOVATIONS
 LAST OPENED: 23/04/2021 JOB NO:
 156025

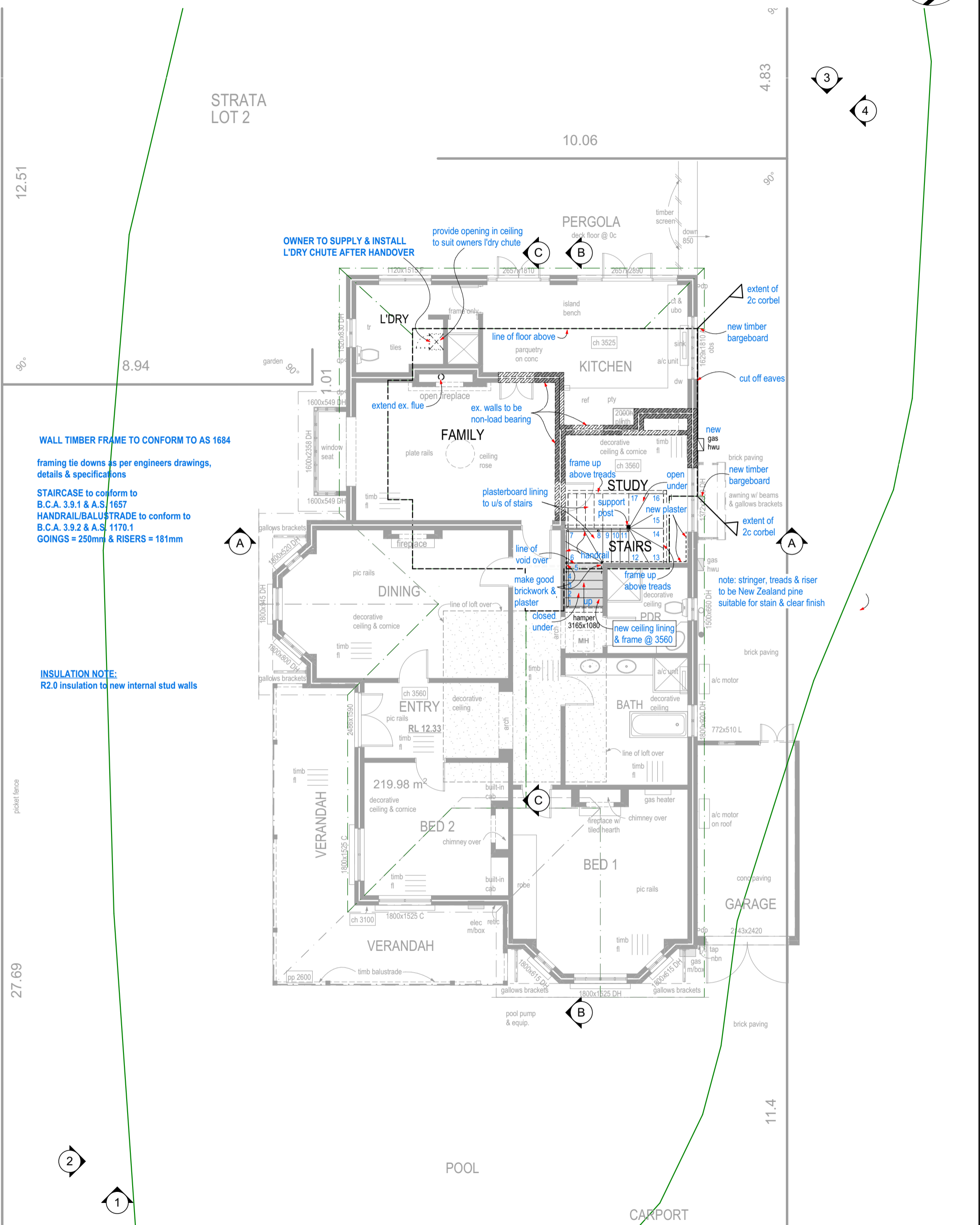
Issue Name	Drawn	Date	Issue Name	Drawn	Date
001	BA	18/03/21			
002	BA	18/03/21			

EXISTING FIRST FLOOR PLAN





STRATA LOT 2



WALL TIMBER FRAME TO CONFORM TO AS 1684

framing tie downs as per engineers drawings, details & specifications

STAIRCASE to conform to B.C.A. 3.9.1 & A.S. 1657
HANDRAIL/BALUSTRADE to conform to B.C.A. 3.9.2 & A.S. 1170.1
GOINGS = 250mm & RISERS = 181mm

INSULATION NOTE:
R2.0 insulation to new internal stud walls

PROPOSED RESIDENCE FOR:
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ADDRESS:
101 NORTHWOOD STREET,
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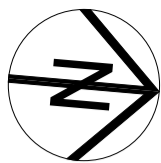
DRAWN: BA
DESIGNED: AFT
CHECKED: NAC
DATE: 21/04/2021
LAST OPENED: 23/04/2021

SCALE: 1:100
SHEET: 3 OF 7
SIZE: A3
RENOVATIONS
JOB NO:
156025

Issue Name	Drawn	Date	Issue Name	Drawn	Date
001	BA	18/03/21			
002	BA	18/03/21			

PROPOSED FLOOR PLAN

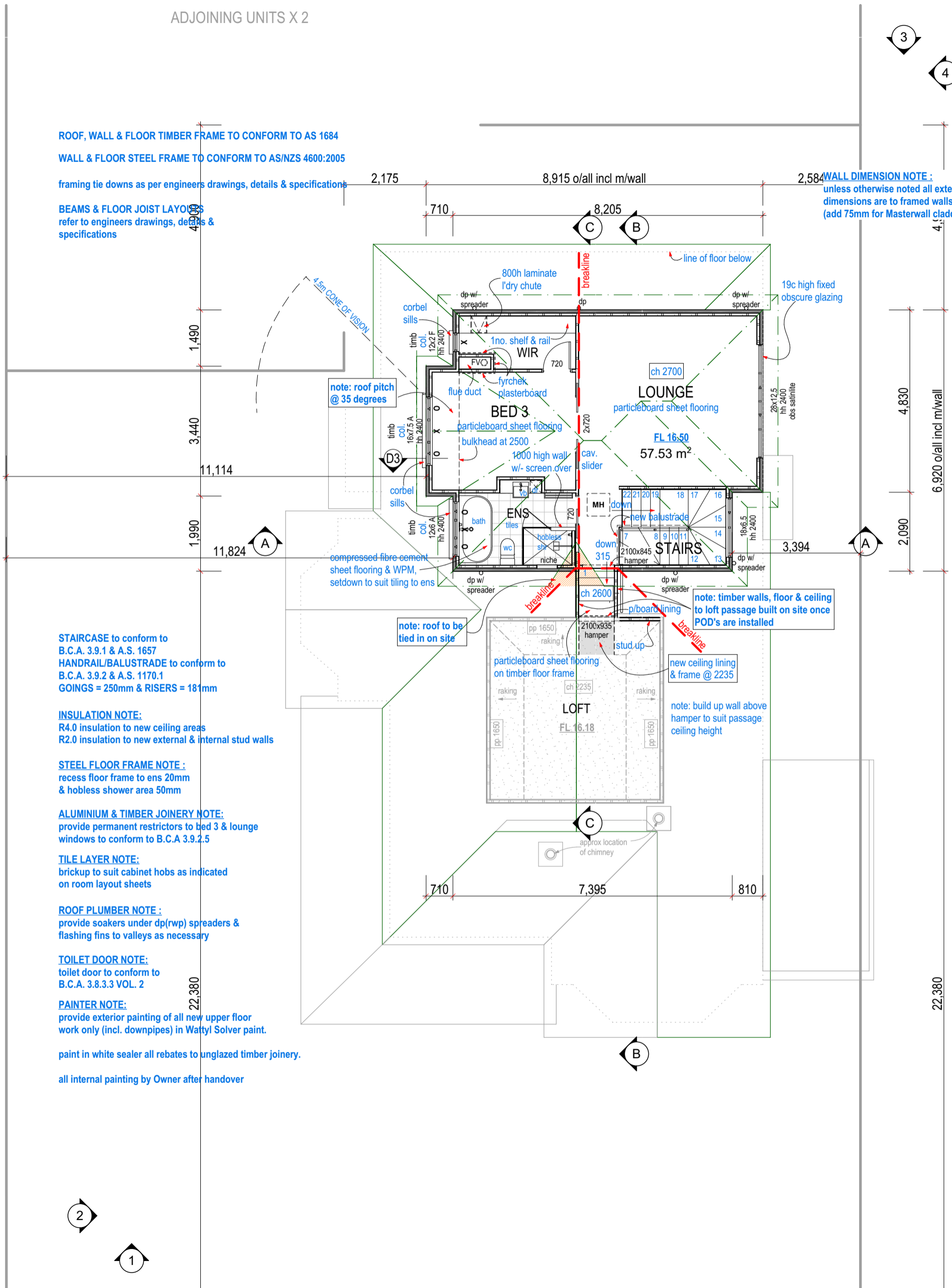




ADJOINING UNITS X 2

ROOF, WALL & FLOOR TIMBER FRAME TO CONFORM TO AS 1684
 WALL & FLOOR STEEL FRAME TO CONFORM TO AS/NZS 4600:2005
 framing tie downs as per engineers drawings, details & specifications
 BEAMS & FLOOR JOIST LAYOUTS refer to engineers drawings, details & specifications

WALL DIMENSION NOTE :
 unless otherwise noted all external dimensions are to framed walls (add 75mm for Masterwall cladding)



STAIRCASE to conform to B.C.A. 3.9.1 & A.S. 1657
 HANDRAIL/BALUSTRADE to conform to B.C.A. 3.9.2 & A.S. 1170.1
 GOINGS = 250mm & RISERS = 181mm

INSULATION NOTE:
 R4.0 insulation to new ceiling areas
 R2.0 insulation to new external & internal stud walls

STEEL FLOOR FRAME NOTE :
 recess floor frame to ens 20mm & hobless shower area 50mm

ALUMINIUM & TIMBER JOINERY NOTE:
 provide permanent restrictors to bed 3 & lounge windows to conform to B.C.A 3.9.2.5

TILE LAYER NOTE:
 brickup to suit cabinet hobs as indicated on room layout sheets

ROOF PLUMBER NOTE :
 provide soakers under dp(rwp) spreaders & flashing fins to valleys as necessary

TOILET DOOR NOTE:
 toilet door to conform to B.C.A. 3.8.3.3 VOL. 2

PAINTER NOTE:
 provide exterior painting of all new upper floor work only (incl. downpipes) in Watty Solver paint.

paint in white sealer all rebates to unglazed timber joinery.
 all internal painting by Owner after handover

PROPOSED RESIDENCE FOR:
 LONGROAD HOLDINGS PTY LTD

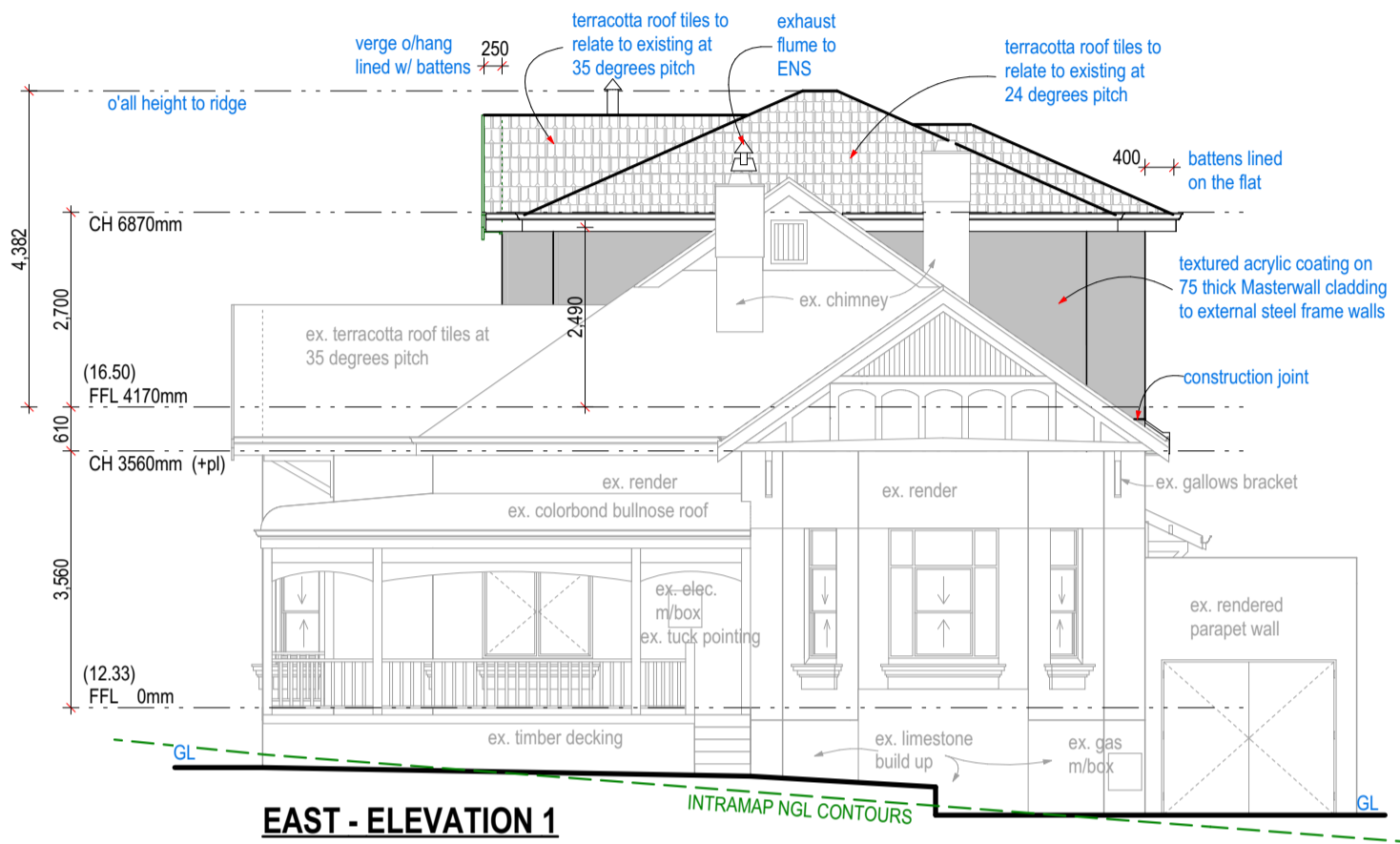
ADDRESS:
 101 NORTHWOOD STREET,
 WEST LEEDERVILLE 6007

DRAWN: BA SCALE: 1:100
 DESIGNED: AFT SHEET: 4 OF 7
 CHECKED: NAC SIZE: A3
 DATE: 21/04/2021 RENOVATIONS
 LAST OPENED: 23/04/2021 JOB NO:
 156025

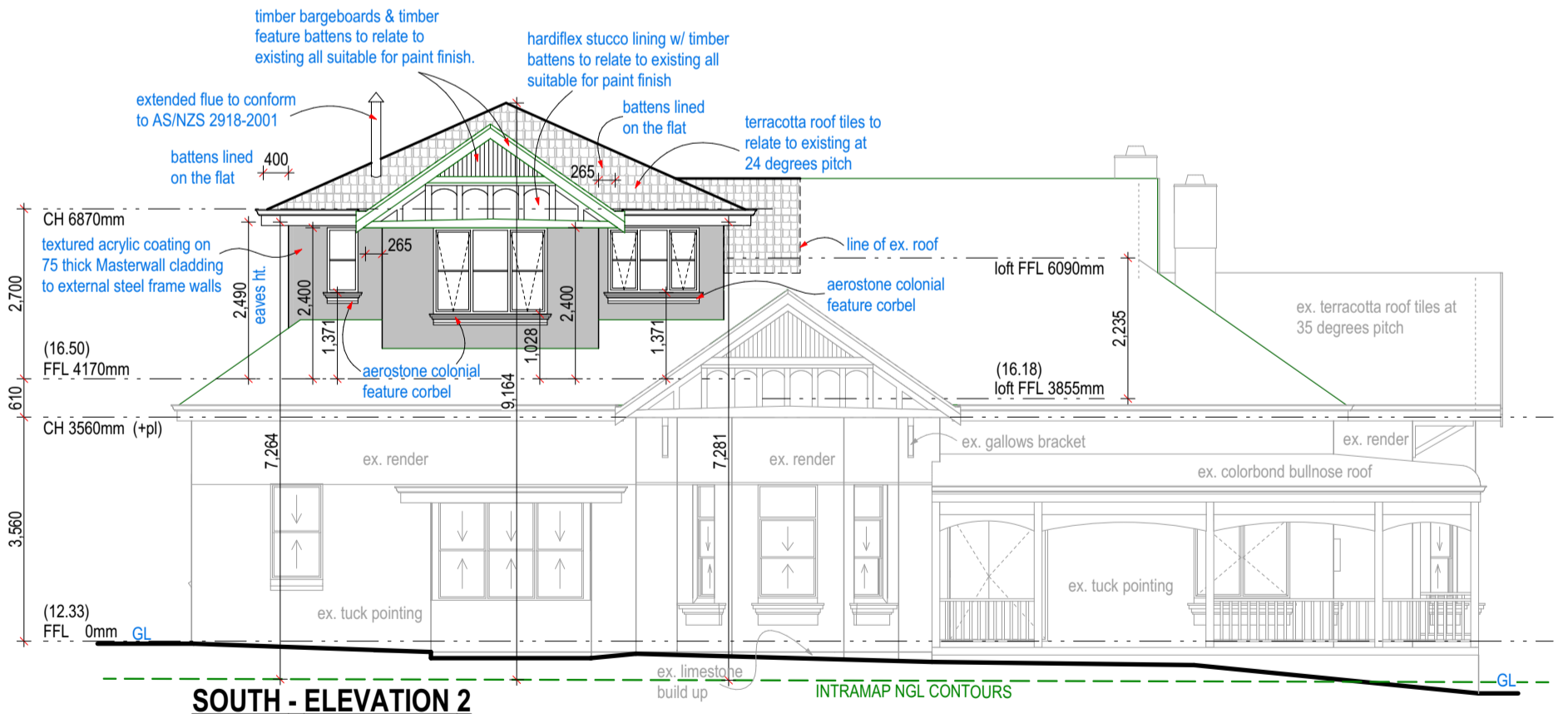
Issue Name	Drawn	Date	Issue Name	Drawn	Date
001	BA	18/03/21			
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PROPOSED FIRST FLOOR PLAN





EAST - ELEVATION 1



SOUTH - ELEVATION 2

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LONGROAD HOLDINGS PTY LTD

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101 NORTHWOOD STREET,
WEST LEEDERVILLE 6007

DRAWN: BA
DESIGNED: AFT
CHECKED: NAC
DATE: 21/04/2021
LAST OPENED: 23/04/2021

SCALE: 1:100
SHEET: 5 OF 7
SIZE: A3
RENOVATIONS
JOB NO:
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Issue Name	Drawn	Date	Issue Name	Drawn	Date
001	BA	18/03/21			
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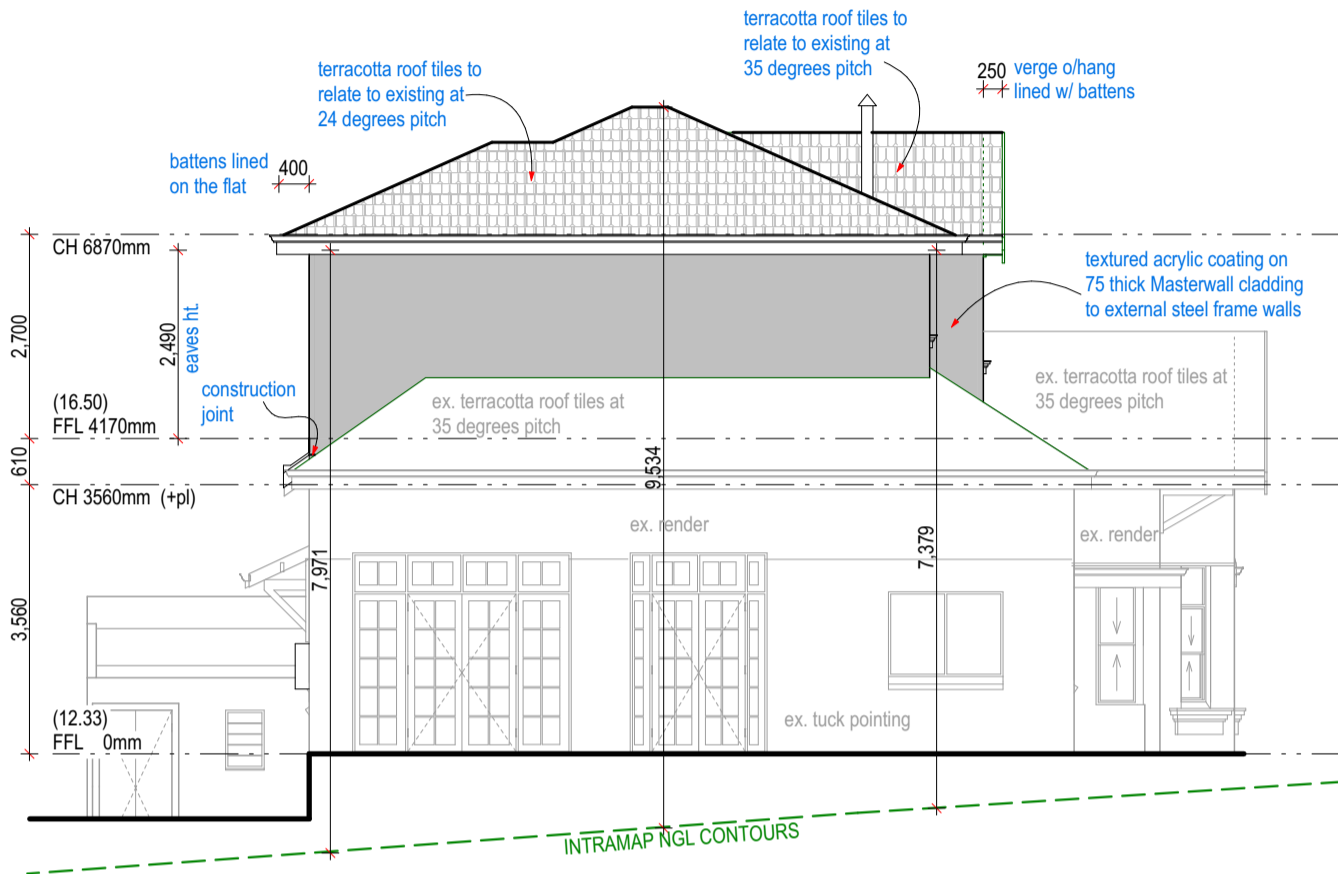
ELEVATIONS 1 & 2

SUMMIT
HOMES GROUP

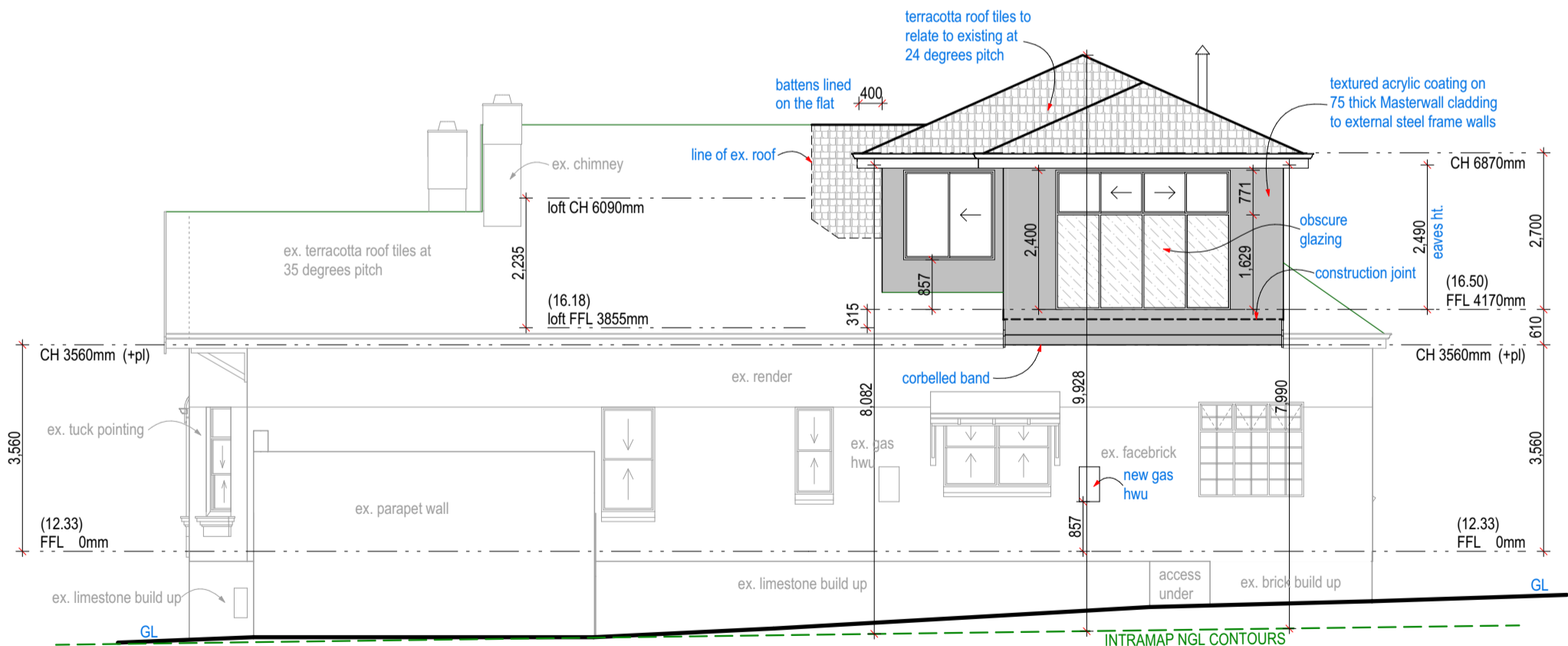
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WEST - ELEVATION 3



NORTH - ELEVATION 4

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ADDRESS:
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WEST LEEDERVILLE 6007

DRAWN: BA SCALE: 1:100
DESIGNED: AFT SHEET: 6 OF 7
CHECKED: NAC SIZE: A3
DATE: 21/04/2021 RENOVATIONS
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002	BA	18/03/21			

ELEVATIONS 3 & 4



⊕	SEC Dome
⊖	Power Pole
⊕	Phone Pits
⊖	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries

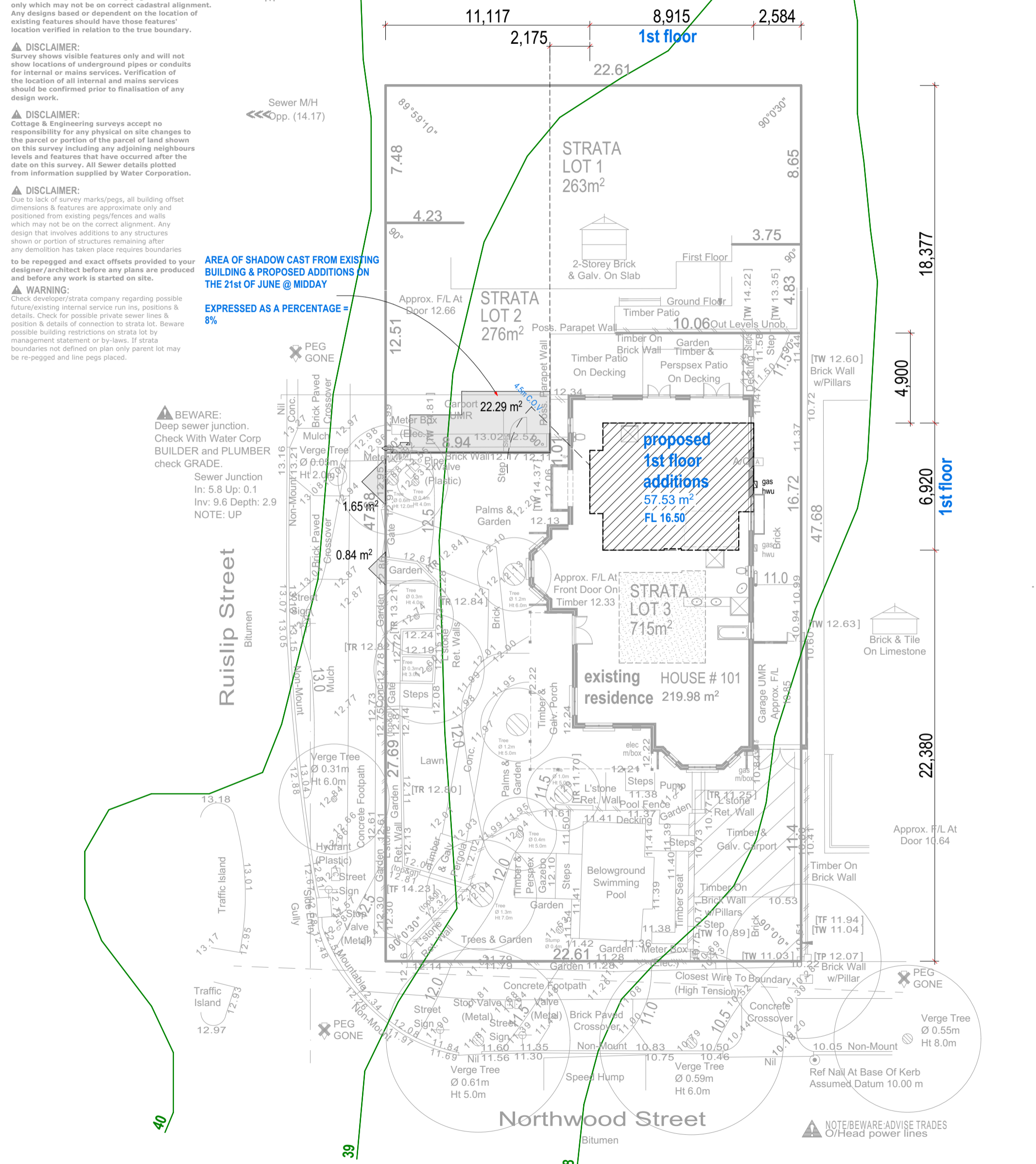
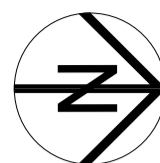
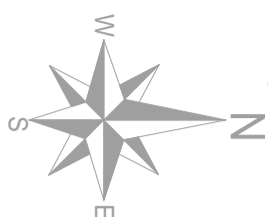
to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

WARNING:
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-peged and line pegs placed.

BEWARE:
Deep sewer junction.
Check With Water Corp
BUILDER and PLUMBER
check GRADE.
Sewer Junction
In: 5.8 Up: 0.1
Inv: 9.6 Depth: 2.9
NOTE: UP

AREA OF SHADOW CAST FROM EXISTING BUILDING & PROPOSED ADDITIONS ON THE 21st OF JUNE @ MIDDAY

EXPRESSED AS A PERCENTAGE = 8%



PROPOSED RESIDENCE FOR:
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DRAWN: BA SCALE: 1:200
DESIGNED: AFT SHEET: 7 OF 7
CHECKED: NAC SIZE: A3
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Issue Name	Drawn	Date	Issue Name	Drawn	Date
001	BA	18/03/21			
002	BA	18/03/21			

SITE PLAN

